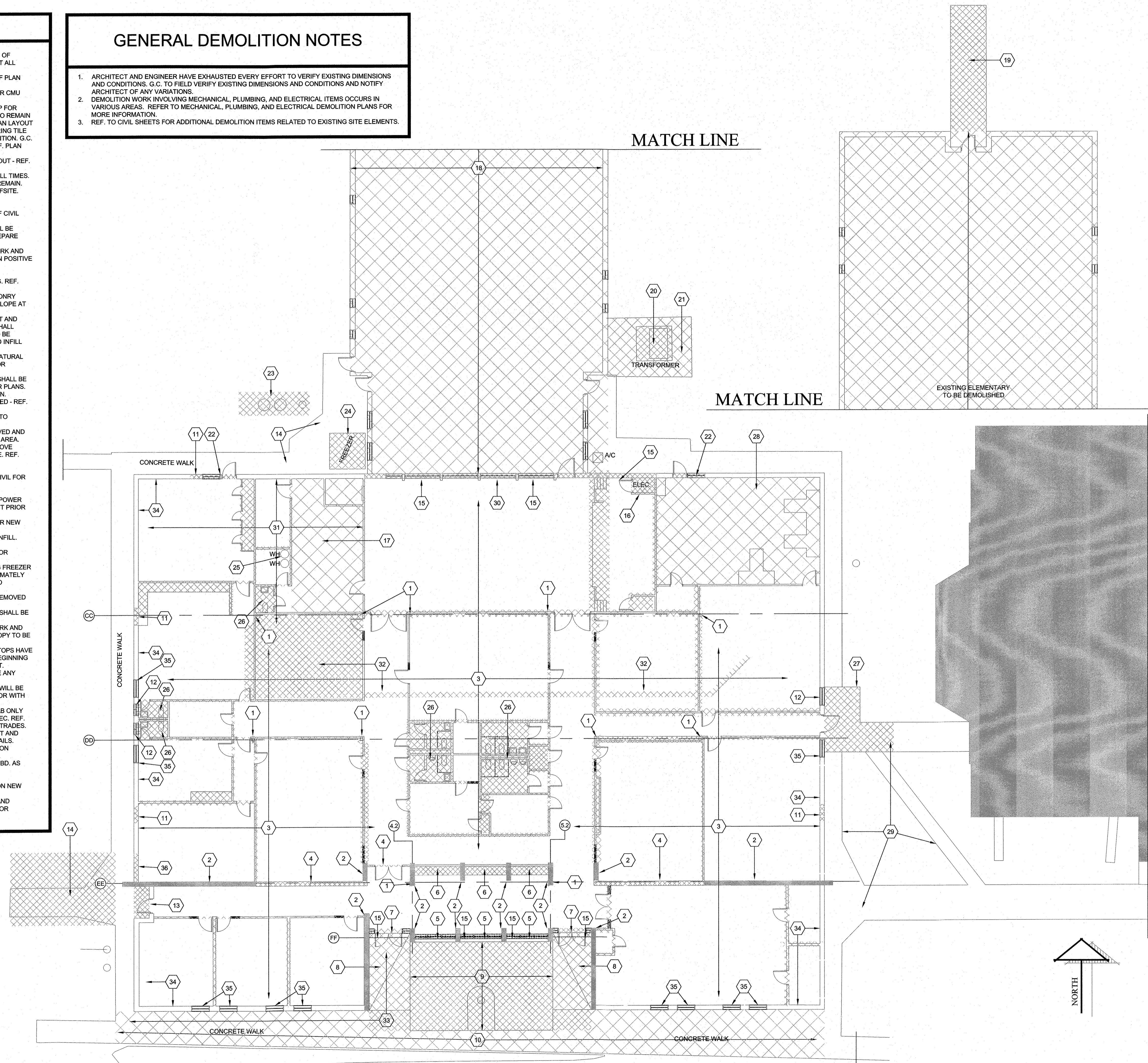


DEMOLITION KEYNOTES

- LOCATION OF EXISTING STEEL COLUMN TO REMAIN. G.C. TO FIELD VERIFY EXACT QUANTITY AND LOCATION OF EXISTING STEEL COLUMNS. PROTECT EXISTING STRUCTURAL SYSTEM OF EXISTING BUILDING TO REMAIN AT ALL TIMES. ANY COLUMNS NOT SHOWN TO BE FIELD VERIFIED AND COORDINATED WITH ARCHITECT.
- SECTION OF EXISTING MASONRY WALL TO REMAIN AND BE WRAPPED WITH GYP. BD. ON HAT CHANNEL - REF PLAN FOR DETAILS.
- IN EXISTING FACILITY, MAJOR RENOVATIONS SHALL OCCUR. REMOVE AND HAUL OFFSITE EXISTING INTERIOR CMU WALLS, PARTITIONS, CEILINGS, STUD WALL PARTITIONS, REMOVE EXISTING MECHANICAL, ELECTRICAL AND PLUMBING AND ASSOCIATED COMPONENTS AND PREPARE FOR INSTALLATION OF NEW SYSTEMS - REF. MEP FOR DETAILS. EXISTING STRUCTURAL SYSTEM AND BUILDING ENVELOPE, EXTERIOR WALLS, ROOF, AND SLAB, TO REMAIN AND SHALL BE PROTECTED FROM DAMAGE. COORDINATE REMOVAL OF INTERIOR ELEMENTS WITH NEW PLAN LAYOUT AND COORDINATE REMOVAL WITH ALL TRADES. MAINTAIN WEATHERTIGHT ENVELOPE AT ALL TIMES. FLOORING TILE HAS BEEN TESTED AND DOES CONTAIN ACM MATERIALS AND WILL BE ABATED BY OWNER PRIOR TO DEMOLITION. G.C. TO COORDINATE ABATEMENT CONTRACTOR WITH DEMOLITION CREWS. SOME WINDOWS WILL REMAIN - REF. PLAN FOR DETAILS.
- SECTION OF EXISTING MASONRY WALL TO BE REMOVED ONLY AS NECESSARY TO PROVIDE NEW PLAN LAYOUT - REF. NEW PLAN SHEETS FOR DETAILS. WHERE MASONRY WALL REMOVED, EXISTING JOIST AND BEAM SHALL BE SUPPORTED AND NEW STRUCTURE INSTALLATION COORDINATED TO MAINTAIN THE BUILDING SYSTEM AT ALL TIMES.
- EXISTING STOREFRONT WINDOWS SHALL BE REMOVED AND HAULED OFFSITE. EXISTING MASONRY SHALL REMAIN.
- EXISTING TROPHY CASE AND ASSOCIATED WALLS AND COMPONENTS SHALL BE REMOVED AND HAULED OFFSITE. PREPARE AREA FOR NEW OFFICES TO BE PROVIDED.
- REMOVE EXISTING STOREFRONT DOORS, SIDELITES AND TRANSOM AND HAUL OFFSITE.
- REMOVE EXISTING SITE ELEMENTS INCLUDING RAMPS, FLATWORK AND HANDRAILS AND HAUL OFFSITE. REF CIVIL FOR ADDITIONAL DETAILS.
- EXISTING SIDEWALK AND FLATWORK SHALL BE REMOVED AND HAULED OFFSITE. EXISTING FLAGPOLE SHALL BE REMOVED AND DELIVERED TO OWNER FOR FUTURE USE. REF CIVIL SHEETS FOR ADDITIONAL DETAILS. PREPARE AREA FOR NEW CONSTRUCTION AS NECESSARY.
- REMOVE EXISTING FLATWORK AND HAUL OFFSITE AND PREPARE AREA FOR INSTALLATION OF NEW SITEWORK AND BUILDING FOUNDATION AS NECESSARY. PROTECT EXISTING BUILDING TO REMAIN FROM DAMAGE. MAINTAIN POSITIVE DRAINAGE AWAY FROM EXISTING CONSTRUCTION. REF. CIVIL AND FLOOR PLANS FOR ADDITIONAL DETAILS.
- WHERE NEW WINDOW OR DOOR OCCURS IN EXISTING WALL - SAWCUT OPENING IN EXISTING MASONRY AS NECESSARY FOR NEW WINDOW INSTALLATION. PROVIDE LINTEL IN NEW OPENING - REF. STRL. FOR DETAILS. REF. SHEET A501 FOR OPENING DETAILS.
- REMOVE EXISTING WINDOW AND FRAME AND PROVIDE MASONRY INFILL TOOTHED IN WITH SALVAGED MASONRY FROM DEMOLITION. NEW GYP. BD. TO OCCUR ON INTERIOR FACE OF WALL. MAINTAIN WEATHERTIGHT ENVELOPE AT ALL TIMES.
- REMOVE EXISTING DOOR AND FRAME AND PORTION OF WALL TO ACCOMMODATE NEW FLOOR PLAN LAYOUT AND HAUL OFFSITE. PROTECT EXISTING LINTEL AND EXISTING MASONRY WALLS TO REMAIN. NEW WALL INFILL SHALL OCCUR IN THIS LOCATION AS SHOWN ON FLOOR PLANS. COORDINATE REMOVAL OF EXISTING MASONRY TO BE SALVAGED AND REUSED TO INFILL NEW OPENINGS WITH MATCHING MASONRY. COORDINATE REMOVAL AND INFILL WITH NEW FLOOR PLANS.
- REMOVE EXISTING FLATWORK AS INDICATED ON CIVIL SHEETS AND HAUL OFFSITE. REMOVE PORTION OF NATURAL GROUND AS NECESSARY TO PROVIDE NEW FLATWORK AND CONCRETE WALK OVER - REF. CIVIL SHEETS FOR ADDITIONAL DETAILS.
- EXISTING EXTERIOR SOFFIT, PORTION OF ROOF MATERIAL, MASONRY WALL, STEEL COLUMNS AND BEAMS SHALL BE REMOVED AND REPLACED WITH NEW STRUCTURAL SYSTEM AS INDICATED ON STRL. AND ARCH. NEW FLOOR PLANS. EXISTING JOISTS AND ROOF SYSTEM WILL REMAIN AND BE REUSED - COORDINATE DEMOLITION TO MAINTAIN. REMOVE BRICK VENEER AND STORE FOR REUSE TO INFILL WHERE EXISTING OPENINGS ARE WILL BE INFILLED - REF. NEW FLOOR PLAN FOR LOCATIONS.
- EXISTING ELECTRICAL PANELS AND CLOSET TO BE REMOVED AND HAULED OFFSITE. ELECTRICAL SERVICE TO BUILDING TO BE RELOCATED. REF. MEP FOR ADDITIONAL DETAILS.
- EXISTING KITCHEN EQUIPMENT, HOODS, EXHAUST SYSTEMS AND ASSOCIATED COMPONENTS TO BE REMOVED AND HAULED OFFSITE. COORDINATE REMOVAL WITH OWNER SCHEDULE PRIOR TO BEGINNING OF WORK IN THIS AREA. EXISTING ELEMENTARY, TILT WALL CONSTRUCTION BUILDING, TO BE REMOVED AND HAULED OFFSITE. REMOVE BUILDING, CONNECTING ELEMENTS, FOUNDATIONS AND ALL ASSOCIATED COMPONENTS AND HAUL OFFSITE. REF. CIVIL AND MEP FOR ADDITIONAL DETAILS. PROTECT EXISTING BUILDING TO REMAIN - REF. NEW PLANS FOR ADDITIONAL DETAILS ON NEW CONSTRUCTION. PREPARE AREA FOR NEW CONSTRUCTION.
- REMOVE EXISTING CANOPY AND ASSOCIATED FOUNDATION AND COMPONENTS AND HAUL OFFSITE - REF. CIVIL FOR DETAILS.
- EXISTING TRANSFORMER TO BE RELOCATED TO NEW LOCATION OUTSIDE OF NEW BUILDING FOOTPRINT. TRANSFORMER RELOCATION OR REPLACEMENT TO BE COORDINATED WITH SERVICE PROVIDER. MINIMIZE POWER INTERRUPTION TO EXISTING FACILITIES AND COORDINATE POWER INTERRUPTION SCHEDULE WITH DISTRICT PRIOR TO WORK BEGINNING. REF. MEP FOR ADDITIONAL DETAILS.
- EXISTING TRANSFORMER PAD AND FENCING TO BE REMOVED AND HAULED OFFSITE - PREPARE SUBGRADE FOR NEW CONSTRUCTION - REF. CIVIL FOR DETAILS.
- REMOVE EXISTING DOOR, FRAME AND SIDELITES AND HAUL OFFSITE. PREPARE AREA FOR NEW MASONRY INFILL. INFILL TO BE TOOTHED MASONRY INFILL WITH SALVAGED MASONRY FROM DEMOLISHED BRICK VENEER.
- REMOVE EXISTING GREASE TRAPS AND ASSOCIATED PLUMBING AND HAUL OFFSITE - REF. MEP AND CIVIL FOR DETAILS.
- EXISTING FREEZER WILL BE USED DURING CONSTRUCTION UNTIL NEW COOLERS ARE PROVIDED. EXISTING FREEZER TO BE RELOCATED AND RECONNECTED OUT OF NEW BUILDING FOOTPRINT. FREEZER WILL MOVE APPROXIMATELY 40 FEET +/- TO THE WEST. COORDINATE RELOCATION LOCATION AND SCHEDULE WITH ARCHITECT PRIOR TO BEGINNING OF WORK.
- EXISTING MECHANICAL ROOM CONTAINS WATER HEATERS AND ASSOCIATED COMPONENTS THAT WILL BE REMOVED DURING DEMOLITION. REF. MEP FOR DETAILS.
- EXISTING TOILET AREAS SHALL BE DEMOLISHED AS PART OF OVERALL DEMOLITION. FIXTURES AND PIPING SHALL BE REMOVED AND HAULED OFFSITE BACK TO SLAB AND CAPPED - REF. MEP FOR DETAILS.
- REMOVE A PORTION OF EXISTING FLATWORK AND EXISTING CANOPY AND HAUL OFFSITE. SAWCUT FLATWORK AND PROTECT EXISTING FLATWORK TO REMAIN FROM DAMAGE. PREPARE AREA FOR NEW FLATWORK AND CANOPY TO BE PROVIDED.
- EXISTING SCIENCE LAB TO BE REMOVED AS A PART OF OVERALL DEMOLITION. EXISTING LAB TABLE RESIN TOPS HAVE BEEN TESTED AND CONTAIN ACM MATERIALS. LAB COUNTERTOPS WILL BE ABATED BY OWNER PRIOR TO BEGINNING OF DEMOLITION. G.C. TO COORDINATE SCHEDULING OF ABATEMENT CONTRACTOR WITH OVERALL PROJECT.
- EXISTING FLATWORK NOT SHOWN TO BE DEMOLISHED SHALL REMAIN - PROTECT FROM DAMAGE - REPLACE ANY DAMAGED FLATWORK TO MATCH EXISTING. REF. CIVIL FOR ADDITIONAL DETAILS.
- EXISTING BUILDING SOFFIT HAS BEEN TESTED AND DOES INCLUDE ACM MATERIALS. EXISTING SOFFIT ACM WILL BE ABATED BY OWNER PRIOR TO DEMOLITION. G.C. TO COORDINATE SCHEDULING OF ABATEMENT CONTRACTOR WITH OVERALL PROJECT.
- IN THIS AREA EXTENSIVE DEMOLITION AND PLUMBING REWORKING WILL OCCUR BELOW SLAB. REMOVE SLAB ONLY AS NECESSARY TO INSTALL NEW PLUMBING SYSTEMS AND PATCH BACK WITH NEW CONCRETE SLAB AS SPEC. REF. MEP FOR NEW PLUMBING LOCATIONS AND REQUIRED DEMOLITION AREAS - G.C. TO COORDINATE WITH ALL TRADES.
- APPROXIMATE LOCATION OF NEW SANITARY SEWER LINE TO BE INSTALLED BELOW EXISTING SLAB. SAWCUT AND REMOVE SLAB ONLY AS REQUIRED TO INSTALL NEW LINE - REF. MEP FOR LOCATIONS AND ADDITIONAL DETAILS.
- LOCATION OF NEW SANITARY SEWER TO BE PROVIDED FOR NEW PLUMBING FIXTURES. COORD. INSTALLATION BELOW NEW FLATWORK TO BE PROVIDED. REF. CIVIL FOR DETAILS. REF. MEP FOR NEW PLUMBING DETAILS.
- WHERE NEW ELECTRICAL POWER AND DATA ARE PROVIDED IN NEW FLOOR PLAN - REMOVE EXISTING GYP. BD. AS NECESSARY TO INSTALL NEW COMPONENTS AND PATCH BACK WITH MATCHING FINISH - RE. MEP FOR NEW RECEPTACLE LOCATIONS AND REF. FIN. SCHEDULE FOR FINISH DETAILS.
- PROTECT EXISTING WINDOWS AND DOORS TO REMAIN - REF. NEW FLOOR PLAN FOR ADDITIONAL DETAILS ON NEW AND EXISTING OPENINGS.
- LOCATION OF NEW DOUBLE DOOR TO BE PROVIDED TO ACCESS NEW CORRIDOR. REMOVE BRICK VENEER AND STORE FOR REUSE TO INFILL WHERE EXISTING OPENINGS ARE WILL BE INFILLED - REF. NEW FLOOR PLAN FOR LOCATIONS.

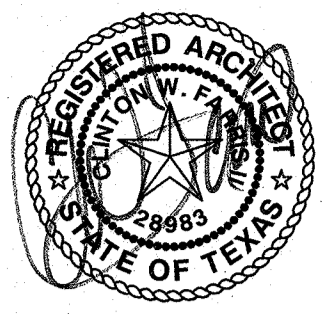
GENERAL DEMOLITION NOTES

- ARCHITECT AND ENGINEER HAVE EXHAUSTED EVERY EFFORT TO VERIFY EXISTING DIMENSIONS AND CONDITIONS. G.C. TO FIELD VERIFY EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY VARIATIONS.
- DEMOLITION WORK INVOLVING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS OCCURS IN VARIOUS AREAS. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION PLANS FOR MORE INFORMATION.
- REF. TO CIVIL SHEETS FOR ADDITIONAL DEMOLITION ITEMS RELATED TO EXISTING SITE ELEMENTS.



FLOOR PLAN - DEMOLITION

SCALE 3/32" = 1'-0"



CLINTON W. FARRIS #28983
DATE SIGNED: 1-28-22



4724 OLD JACKSBORO HIGHWAY
WICHITA FALLS, TEXAS 76702-3599
VOICE: 940.767.1421 FAX: 940.397.0273
WEB: www.hpa1962.com

ADDITIONS AND RENOVATIONS TO THE
GORDON I.S.D. CAMPUS
FOR GORDON I.S.D.
112 RUSK STREET
GORDON, TEXAS 76453

DRAWN BY: HPA

DATE: 28 JULY 2022

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO.

20864.00

SHEET NO.

AD101

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ALTERNATE #3 -
ADDITIONAL
PARKING - REF.
CIVIL

REF. ENLARGED
PLAN ON SHT.
NO. A101

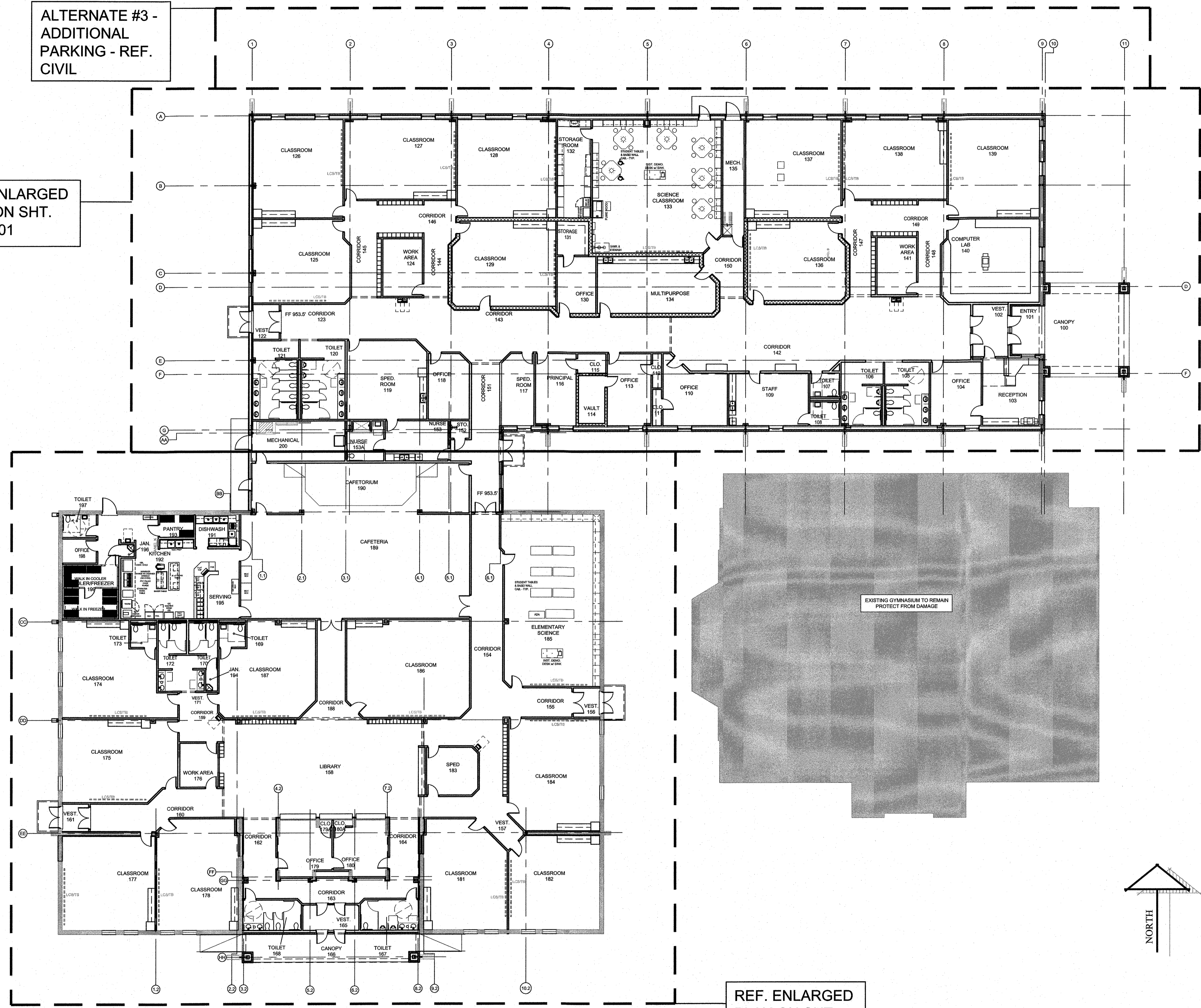
FLOOR PLAN GENERAL NOTES

1. REF. TO SEC. 099990 AND 099999 IN THE PROJECT MANUAL FOR THE "FINISH SCHEDULE" AND "FINISH SCHEDULE KEY".
2. REF. THE DWGS. AND SEC. 012300 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE ALTERNATES FOR THIS PROJECT.
3. REF. THE DRAWINGS AND SEC. 011000 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE BID LINE ITEMS FOR THIS PROJECT.
4. BASE BID IN ALL CORRIDORS IS TO PROVIDE A 6'-0" TALL CERAMIC TILE AS SPEC. WAINSCOT W/ GYP. BD. ABOVE. REF. ALTERNATES IN 012300 OF THE PROJECT MANUAL FOR DEDUCT ALTERNATE TO PROVIDE VANDAL RESISTANT GYP. BD. IN LIEU OF CERAMIC TILE.
5. AT OPENINGS - DOORS AND WINDOWS - PROVIDE GYP. BD. EXP. JT. VERTICAL AT EACH CORNER - TO ABOVE CEILING - REF. PROJECT MAN. SEC. 092116 FOR DETAILS.
6. PROVIDE PAINT AS SPEC FOR ALL HM. FRAMES AND DOORS.

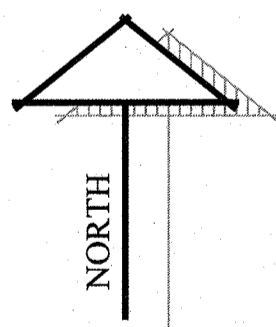
TB AND LCS SCHEDULE

ROOM #	BOARD TYPE & CONFIGURATION, ALL BOARD HEIGHTS ARE 48" UNLESS NOTED OTHERWISE.
125	4' TB; 12' LCS
126	4' TB; 12' LCS
127	4' TB; 12' LCS
128	4' TB; 12' LCS
129	4' TB; 12' LCS
133	4' TB; 12' LCS
136	4' TB; 12' LCS
137	4' TB; 12' LCS
138	4' TB; 12' LCS
139	4' TB; 12' LCS
174	4' TB; 12' LCS
175	4' TB; 12' LCS
177	4' TB; 12' LCS
178	4' TB; 12' LCS
181	4' TB; 12' EX
182	4' TB; 12' EX
184	4' TB; 12' EX
185	4' TB; 12' EX
186	4' TB; 12' EX
187	4' TB; 12' EX

NOTES
 * TB - TACK BOARD
 * LCS - LIQUID CHALK SYSTEM BOARD - MAGNETIC (WHITE MARKER BOARD)
 * EX - EXISTING LCS TO BE INSTALLED BY G.C.



REF. ENLARGED
PLAN ON SHT.
NO. A103



FLOOR PLAN - FULL ELEMENTARY AND SECONDARY CAMPUS

SCALE 1/16" = 1'-0"

ADDITIONS AND RENOVATIONS TO THE
GORDON I.S.D. CAMPUS
 FOR GORDON I.S.D.

GORDON, TEXAS 76453

112 RUSK STREET

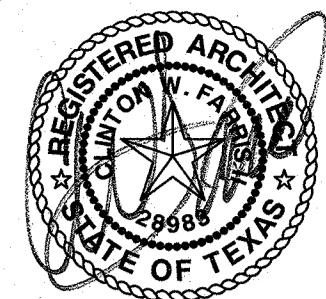
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 DATE: 28 JULY 2022

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.
20864.00

SHEET NO.
A100

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CLINTON W. FARRIS #28983
DATE SIGNED: 7.28.22

HPA
ESTABLISHED 1962
ARCHITECTS PROGRAMMERS PLANNERS
4724 OLD JACKSBORO HIGHWAY
WICHITA FALLS, TEXAS 76702-3599
VOICE: 940.767.1421 FAX: 940.397.0273
WEB: www.hpa1962.com

FLOOR PLAN KEYNOTES

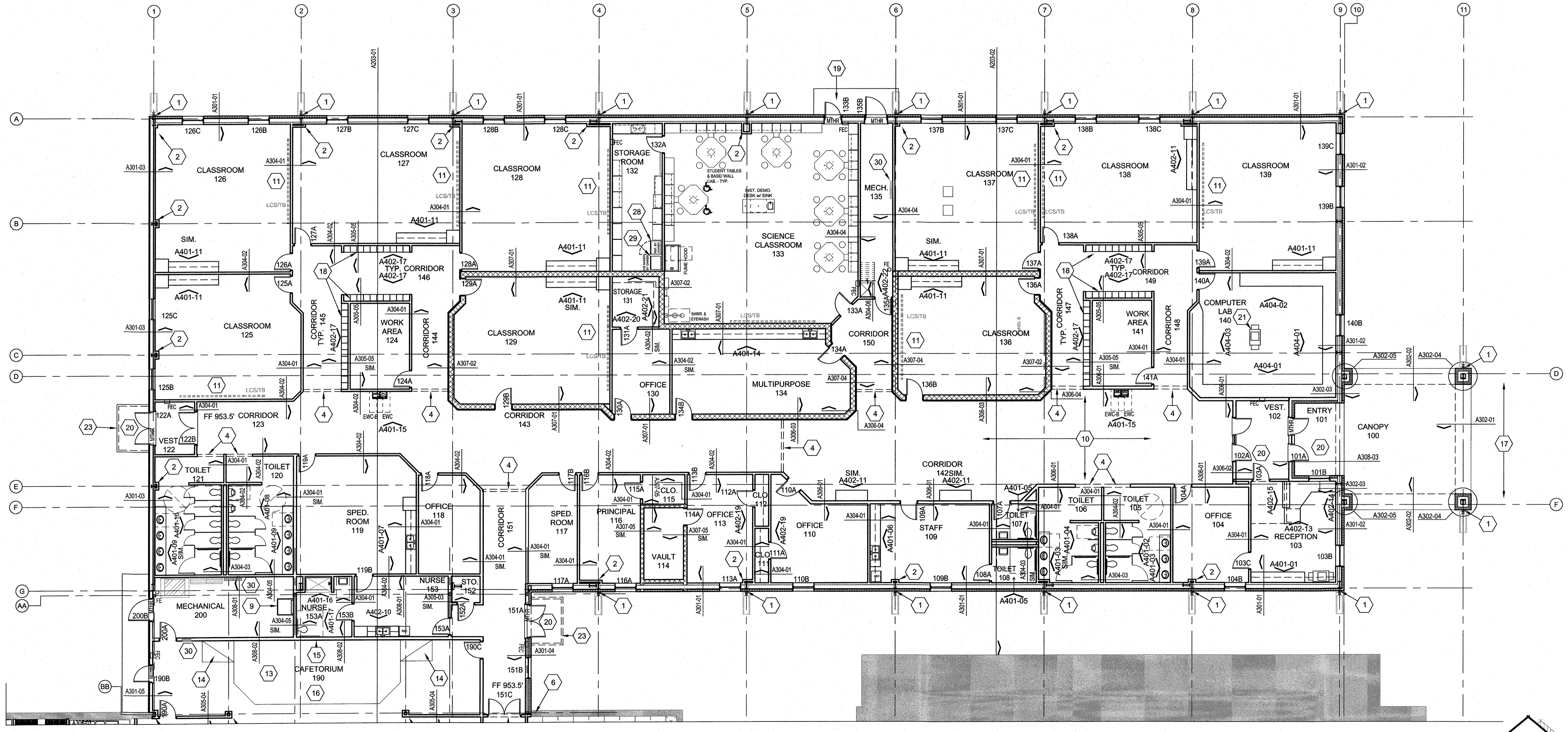
- LOCATION OF A PRE-FINISHED METAL DOWNSPOUT & SPLASHBLOCK. REF. TO THE "ROOF PLAN" FOR MORE INFO. ON THE D.S. LOCATIONS.
- STL. COL. OR RIGID FR. LOCATION - CVR. w/ DRYWALL FURRING COMPOSED OF 3/8" MTL. STUDS @ 16" O.C. w/ ONE (1) LAYER OF 5/8" GYP. BD. - TAPE & BED AND FIN. AS SCHED.
- LOCATION OF NEW GYP. BD. ON 7/8" HAT CHANNEL ATTACHED TO EXISTING WALL. TO CONCEAL EXISTING EXPOSED MASONRY WALL - IN CORRIDORS WHERE TILE WAINSCOT OCCURS - PROVIDE TILE BACKER AS SPEC.
- LOCATION OF NEW GYP. BD. FUR DOWN - COORD. FUR DOWN WIDTH WITH WALL TYPES. COORD. BOTTOM OF FUR DOWN ELEVATIONS WITH CEILING HEIGHTS - REFER TO REFLECTED CEILING PLANS AND FIN. SCHED. FOR DETAILS. PROVIDE BOX BEAM ACROSS FUR DOWN LOCATION.
- NEW MURAL TO BE PROVIDED IN THIS LOCATION. FINAL SELECTION OF MURAL DESIGN BY OWNER AT A LATER DATE. REF. ALLOWANCES FOR DETAILS.
- INFILL OPENING IN EXISTING WALL WHERE WINDOW OR DOOR IS REMOVED. USE SALVAGED MASONRY FROM DEMOLITION TO INFILL WITH MATCHING MORTAR AND MASONRY.
- NEW 3 TIER WOOD CUBBIES TO BE PROVIDED IN THIS AREA - NEW CUBBIES EQ. TO "KAPLAN EARLY LEARNING COMPANY - CAROLINA 4 SECTION LOCKER OR CAROLINA 5 SECTION LOCKER (REF. PLAN FOR LOCATION AND LOCKER QUANTITY AND LAYOUT) - PHONE: 1 800-334-2074, WWW.KAPLANCO.COM
- OWNER PROVIDED MILK BOXES AND ICE CREAM BOX TO REMAIN AND BE REUSED - PROTECT FROM DAMAGE.
- LOCATION OF NEW ROOF HATCH SCUTTLE TO BE PROVIDED TO ACCESS - REF. ROOF PLAN AND A706-01 FOR DETAILS.
- IN THIS AREA SUSPENDED CEILING CLOUDS AND LIGHTING WILL OCCUR - REF. REFLECTED CEILING PLANS FOR HEIGHTS AND ADDITIONAL DETAILS.
- LIQUID CHALK SYSTEM (LCS) OR TACKBOARD (TB) UNIT LOCATION - G.C. SHALL INSTALL AT A HEIGHT AS DIRECTED BY THE ARCHITECT. REF. TO THE PROJ. MANUAL FOR A LCS/TB SCHEDULE. G.C. TO VERIFY THE FINAL LOCATION OF EA. UNIT W/ THE ARCHITECT PRIOR TO INSTALLATION.
- NEW CONC. RAMP AND STL. HANDRAILING - REF. SHTS A202 FOR MORE INFO.
- NEW 5" RISE CAFETERIA STAGE AREA TO BE CONSTRUCTED OUT OF 3 5/8" MTL. STD. ON EDGE @ 16" O.C. - ATTACH TO CONCRETE FLOOR. PROVIDE BATT INSULATION IN HORIZONTAL STUD BAY AND TOP W/ 2 LAYERS 3/4" TONGUE AND GROOVE SANDED PLYWOOD. PROVIDE NEW CARPET FLOOR TILES AS SPEC. REF. A404-09 FOR DETAILS.
- LOCATION OF MTL. STD. FRAMED RAMP FROM STAGE TO FINISHED FLOOR - PROVIDE NEW CARPET TILES ON RAMP AS SPEC. REF A404-08 FOR DETAILS.
- APPROXIMATE LOCATION OF NEW OWNER PROVIDED CEILING MOUNTED PROJECTOR SCREEN COORD. LOCATION WITH NEW CEILING MOUNTED PROJECTOR - G.C. INSTALL.
- APPROX. LOCATION OF OWNER PROVIDED, G.C. MOUNTED, CEILING MOUNTED PROJECTOR AND MOUNTING PLATE - REF. MEP FOR POWER AND DATA DETAILS. COORD. MOUNTING LOCATION WITH OWNER PROVIDED SCREEN.
- NEW STL. PIPE BOLLARDS OCCUR IN THIS AREA - REF. CIVIL FOR LOCATIONS AND BOLLARD DETAILS.
- LOCATION OF MTL. 2 TIER LOCKERS AS SPEC. MOUNTED IN MTL. STUD FRAMING - COORDINATE FRAMING AND LOCKER BASE WITH LOCKER UNITS TO BE PROVIDED - REF. A402-17 AND A305-05 FOR DETAILS.
- THIS DOOR TO BE EGRESS ONLY - PROVIDE EGRESS HARDWARE ON INTERIOR SIDE OF DOOR ONLY.
- PROVIDE ACCESS CONTROL AT INDICATED LOCATIONS - REF. HARDWARE SCHEDULE AND A501 FOR ADDITIONAL DETAILS. COORD. ELECTRICAL AS REQUIRED FOR PROVIDED ACCESS CONTROL SYSTEM - REF. MEP FOR DETAILS.
- IN THIS LOCATION PROVIDE FLOOR ELECTRICAL POWER AND DATA FOR OWNER PROVIDED EQUIPMENT. COORDINATE FINAL LOCATION WITH ARCHITECT. REF. MEP FOR DETAILS.
- WHERE NEW POWER TO BE PROVIDED IN EXISTING GYP. BD. WALL - PROVIDE MATCHING PATCH WHERE DAMAGED OR REMOVED - TEXTURE AND PAINT.
- NEW 6'-0" X 10'-0" CANOPY TO BE PROVIDED AT EGRESS LOCATIONS AS INDICATED EQ. TO MASA ARCHITECTURAL CANOPIES - EXTRUDECK EXTRUDED ALUMINUM CANOPY SYSTEM - WALL HUNG - COORDINATE REQUIRED MOUNTING HARDWARE WITH NEW AND EXISTING BUILDING SYSTEMS AND PROVIDE BLOCKING AS REQUIRED - FIELD VERIFY.
- LOCATION OF NEW CABL. RAIL SYSTEM TO BE PROVIDED AT EDGE OF MEZZANINE DECK - REF. SHT. A307 FOR DETAILS.
- LOCATION OF NEW "SHIPS LADDER" AS SPEC INSTALLED IN NEW MECHANICAL ROOM - COORD. INSTALLATION WITH MEZZANINE DECK FF. ELEVATION AND NEW WALL FRAMING AND OPENINGS.
- IN THIS LOCATION RAISED CORRIDOR CEILING OCCURS - PROVIDE MTL. STUD FRAMING W/ GYP. BD. BOTH SIDES - REF. SHT A306 FOR DETAILS.
- LOCATION OF OPENING IN CABLE RAIL TO ALLOW ACCESS FROM SHIPS LADDER TO MEZZANINE WOOD DECK.
- OWNER PROVIDED REFRIGERATOR - PROVIDE NEW WATER BOX AND POWER - REF. MEP FOR DETAILS -
- OWNER PROVIDED ICE MACHINE - PROVIDE NEW WATER, DRAIN AND POWER - REF. MEP FOR DETAILS.
- APPROXIMATE LOCATION OF NEW ELECTRICAL PANELS - COORD. LOCATION AND MOUNTING WITH CONSTRUCTION TYPE - REF. MEP FOR PANEL DETAILS.

FLOOR PLAN GENERAL NOTES

- REF. TO SEC. 099990 AND 099999 IN THE PROJECT MANUAL FOR THE "FINISH SCHEDULE" AND "FINISH SCHEDULE KEY".
- REF. THE DWGS. AND SEC. 012300 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE ALTERNATES FOR THIS PROJECT.
- REF. THE DRAWINGS AND SEC. 011000 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE BID LINE ITEMS FOR THIS PROJECT.
- BASE BID IN ALL CORRIDORS IS TO PROVIDE A 6'-0" TALL CERAMIC TILE AS SPEC. WAINSCOT W/ GYP. BD. ABOVE. REF. ALTERNATES IN 012300 OF THE PROJECT MANUAL FOR DEDUCT ALTERNATE TO PROVIDE VANDAL RESISTANT GYP. BD. IN LIEU OF CERAMIC TILE.
- AT OPENINGS - DOORS AND WINDOWS - PROVIDE GYP. BD. EXP. JT. VERTICAL AT EACH CORNER - TO ABOVE CEILING - REF. PROJECT MAN. SEC. 092116 FOR DETAILS.
- PROVIDE PAINT AS SPEC FOR ALL HM. FRAMES AND DOORS.

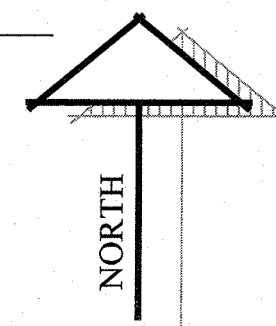
FLOOR PLAN LEGEND

INTERIOR ELEV. SYMBOL	SECTION CUT SYMBOL	OPNG. KEY	KEYNOTE
A401-01	A303-05	OPNG. # 1	1
DETAIL NUMBER	SHEET NUMBER		
MTHR		5'-0" ALLOWABLE TURNING SPACE FOR DISABLED PERSONS	
EWC		30"x48" CLEAR FLOOR SPACE FOR DISABLED PERSONS AT A LAVATORY	
EWC-B			
FE			
FEC			
LCS/TB			
Downspout w/ RUBBER SPLASH BLOCK			
EXT. WALL - PEMB W/ EIFS & BRICK VENEER AND STUD INT.			
EXT. WALL - PEMB W/ EXT. MTL. PNL. AND STUD INT.			
EXT. WALL - MTL. STD. W/ EXT. MTL. PNL. AND GYP. BD.			
EXT. WALL - MTL. STD. W/ EXT. EIFS & BRICK VENEER AND GYP. BD. INT.			
3 5/8" MTL. STD. W/ GYP. BD. 1 SIDE			
6" MTL. STD. W/ GYP. BD. 2 SIDES			
3 5/8" MTL. STD. W/ GYP. BD. 2 SIDES			
EXISTING WALL TO REMAIN			



FLOOR PLAN - SECONDARY (HIGH SCHOOL) - NOTED

SCALE 3/32" = 1'-0"



ADDITIONS AND RENOVATIONS TO THE
GORDON I.S.D. CAMPUS
FOR GORDON I.S.D.

GORDON, TEXAS 76453

112 RUSK STREET

DRAWN BY: HPA

DATE: 28 JULY 2022

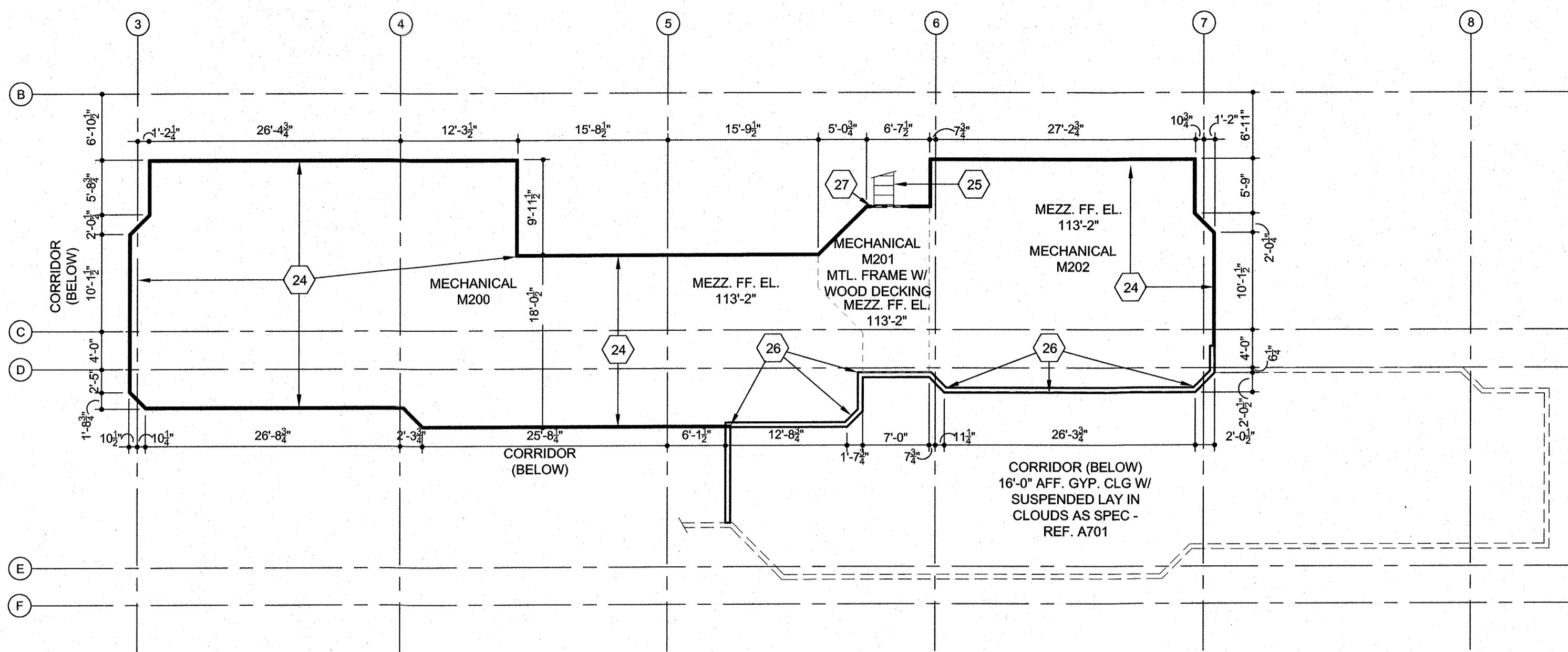
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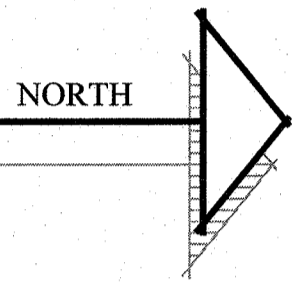


FLOOR PLAN - MEZZANINE - SECONDARY

NOTE:
REF. A101
FOR KEYNOTES

FLOOR PLAN GENERAL NOTES

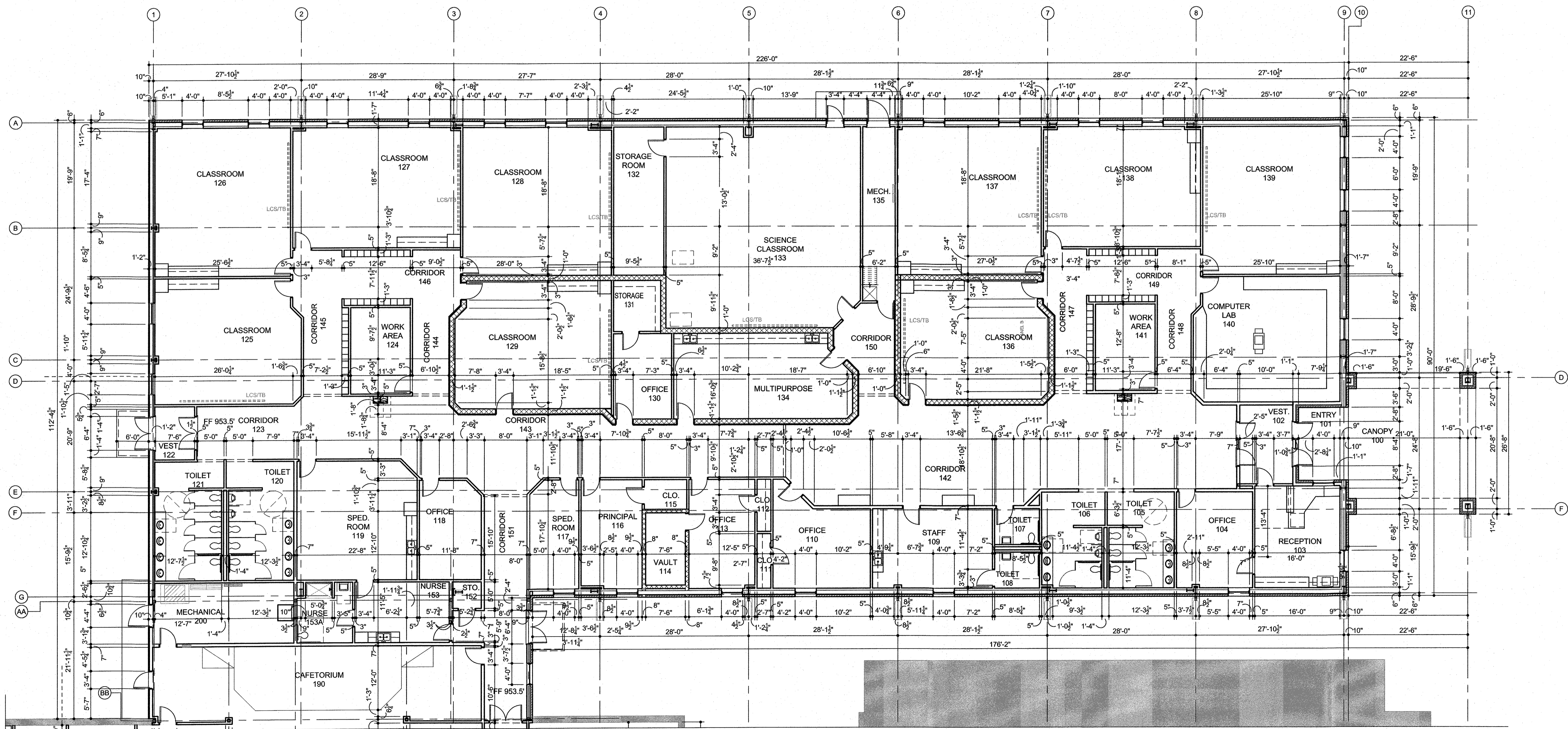
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3. REF. THE DRAWINGS AND SEC. 011000 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE BID LINE ITEMS FOR THIS PROJECT.
4. BASE BID IN ALL CORRIDORS IS TO PROVIDE A 6'-0" TALL CERAMIC TILE AS SPEC. WAINSCOT W/ GYP. BD. ABOVE. REF. ALTERNATES IN 012300 OF THE PROJECT MANUAL FOR DUCT ALTERNATE TO PROVIDE VANDAL RESISTANT GYP. BD. IN LIEU OF CERAMIC TILE.
5. AT OPENINGS - DOORS AND WINDOWS - PROVIDE GYP. BD. EXP. JT. VERTICAL AT EACH CORNER - TO ABOVE CEILING - REF. PROJECT MAN. SEC. 092116 FOR DETAILS.
6. PROVIDE PAINT AS SPEC FOR ALL HM. FRAMES AND DOORS.



SCALE 3/32" = 1'-0"

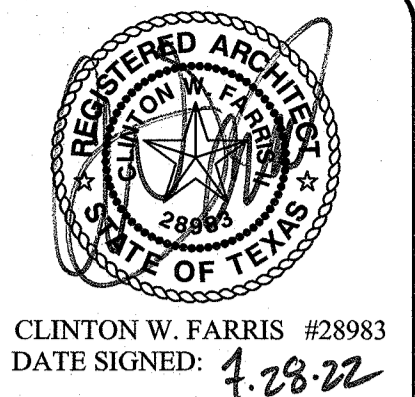
FLOOR PLAN LEGEND

INTERIOR ELEV. SYMBOL	SECTION CUT SYMBOL	OPNG. KEY	KEYNOTE
A401-01 DETAIL NUMBER SHEET NUMBER	A303-05 SECTION CUT SYMBOL	OPNG. #	1
MTHR METAL THRESHOLD	EWC ELECTRIC WATER COOLER	EWC-B ELECTRIC WATER COOLER W/ BOTTLE FILLER	FE FIRE EXTINGUISHER
FEC FIRE EXTINGUISHER IN FIRE EXTINGUISHER CAB.	LCS/TB LIQUID CHALK SYSTEM MARKERBOARD AND TACKBOARD COMBO	DSB DOWNSPOUT W/ RUBBER SPLASH BLOCK	5'-0" ALLOWABLE TURNING SPACE FOR DISABLED PERSONS
			30"x48" CLEAR FLOOR SPACE FOR DISABLED PERSONS AT A LAVATORY
			EXT. WALL - PEMB W/ EIFS & BRICK VENEER AND STUD INT.
			EXT. WALL - PEMB W/ EXT. MTL. PNL. AND STUD INT.
			EXT. WALL - MTL. STD. W/ EXT. MTL. PNL. AND GYP. BD.
			EXT. WALL - MTL. STD. W/ EXT. EIFS & BRICK VENEER AND GYP. BD. INT.
			3 5/8" MTL. STD. W/ GYP. BD. 1 SIDE
			6" MTL. STD. W/ GYP. BD. 2 SIDES
			3 5/8" MTL. STD. W/ GYP. BD. 2 SIDES
			EXISTING WALL TO REMAIN



FLOOR PLAN - SECONDARY (HIGH SCHOOL) - DIMENSIONED

SCALE 3/32" = 1'-0"



HPA
ESTABLISHED 1962
ARCHITECTS - PROGRAMMERS - PLANNERS
4724 OLD JACKSBORO HIGHWAY
WICHITA FALLS, TEXAS 76702-3599
VOICE: 940.367.1421 FAX: 940.397.0273
WEB: www.hpa1962.com

ADDITIONS AND RENOVATIONS TO THE
GORDON I.S.D. CAMPUS
 FOR GORDON I.S.D.
 112 RUSK STREET
 GORDON, TEXAS 76453

DRAWN BY: HPA
DATE: 28 JULY 2022

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.
20864.00
SHEET NO.
A102

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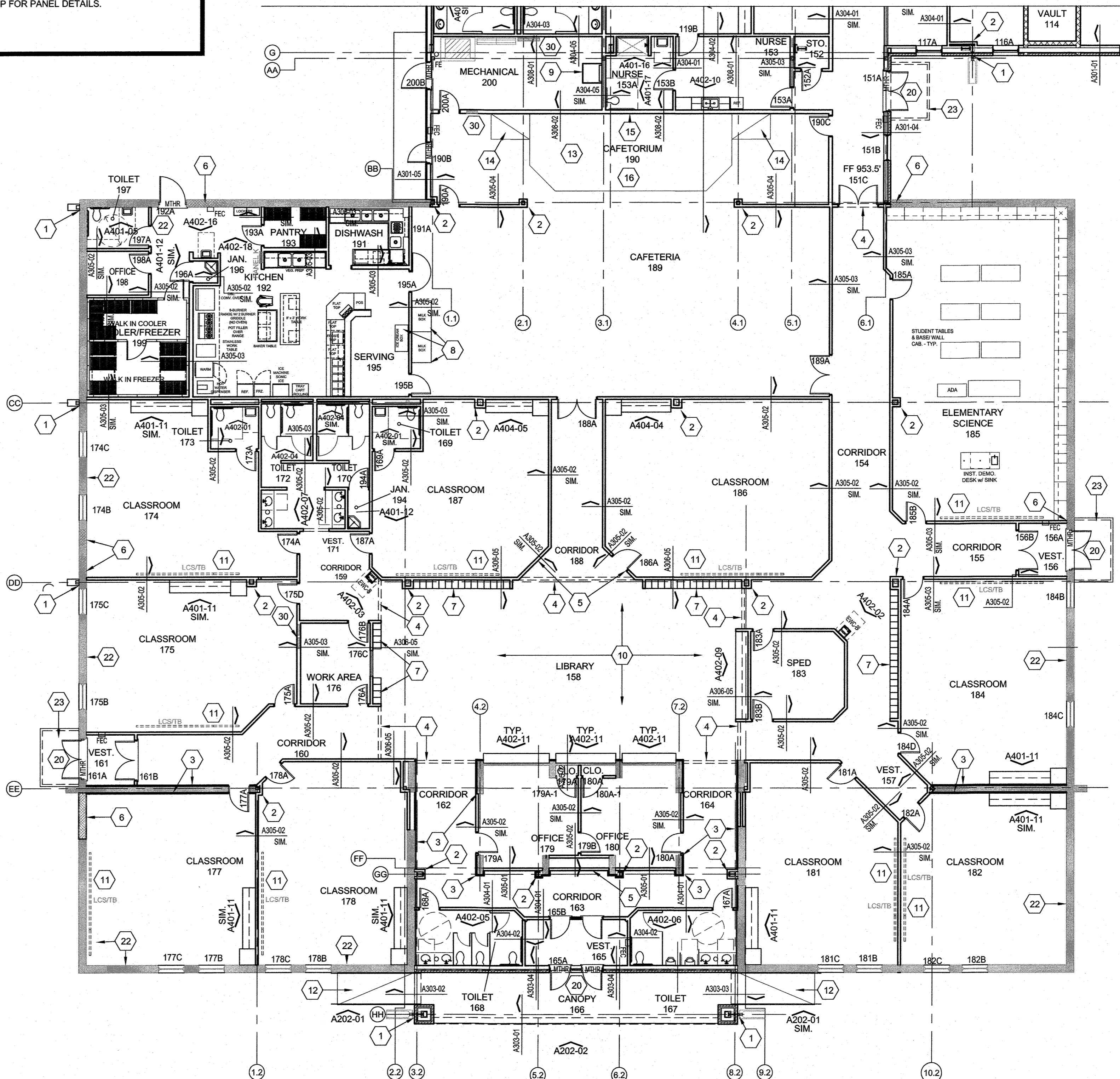
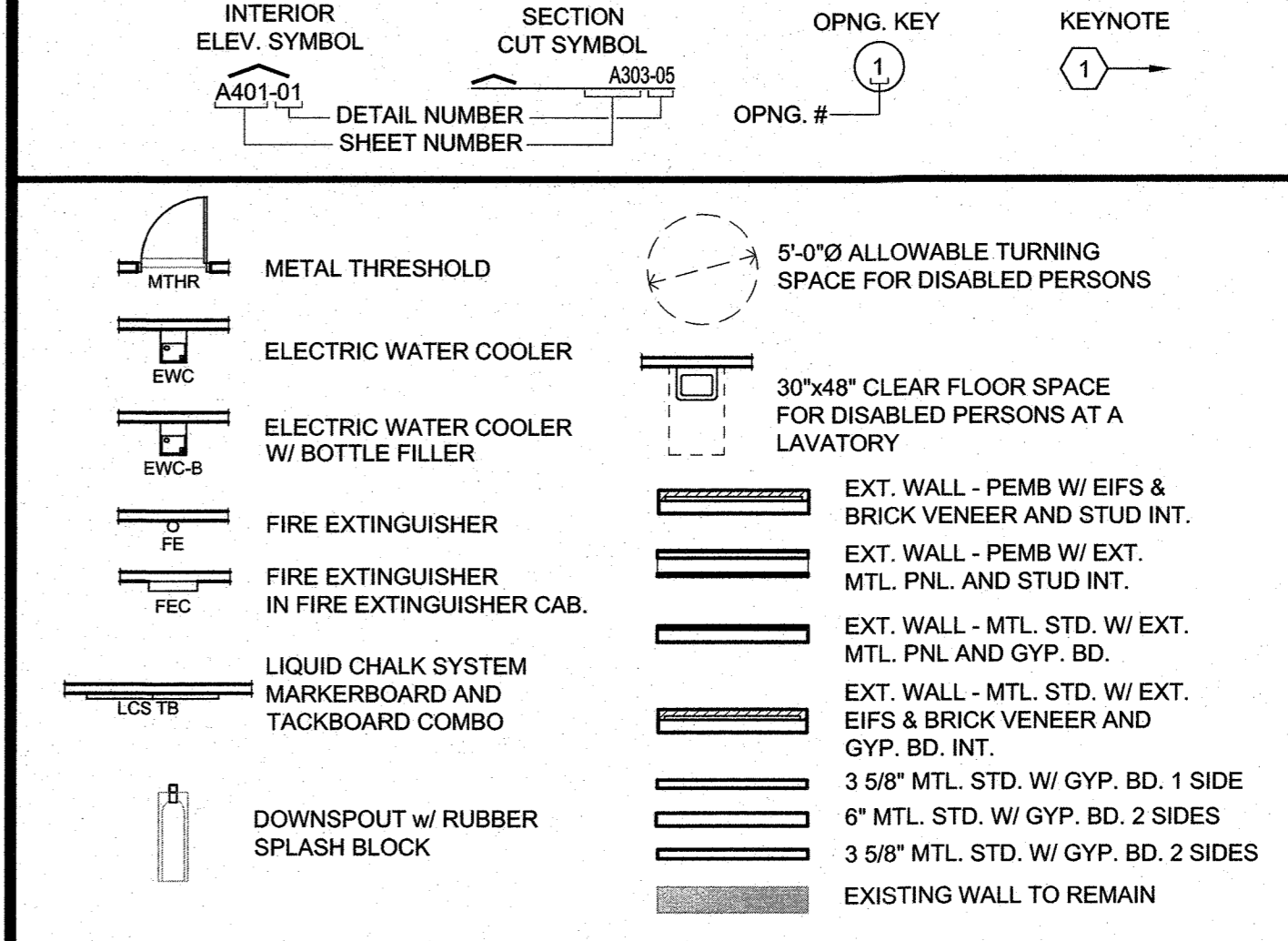
FLOOR PLAN KEYNOTES

- LOCATION OF A PRE-FINISHED METAL DOWNSPOUT & SPLASHBLOCK. REF. TO THE "ROOF PLAN" FOR MORE INFO. ON THE D.S. LOCATIONS.
- STL. COL. OR RIGID FR. LOCATION - CVR. W/ DRYWALL FURRING COMPOSED OF 3/8" MTL. STUDS @ 16" O.C. W/ ONE (1) LAYER OF 5/8" GYP. BD. - TAPE & BED AND FIN. AS SCHED.
- LOCATION OF NEW GYP. BD. ON 7/8" HAT CHANNEL ATTACHED TO EXISTING WALL, TO CONCEAL EXISTING EXPOSED MASONRY WALL - IN CORRIDORS WHERE TILE WAINSCOT OCCURS - PROVIDE TILE BACKER AS SPEC.
- LOCATION OF NEW GYP. BD. FUR DOWN - COORD. FUR DOWN WIDTH WITH WALL TYPES. COORD. BOTTOM OF FUR DOWN ELEVATIONS WITH CEILING HEIGHTS - REFER TO REFLECTED CEILING PLANS AND FIN. SCHED. FOR DETAILS. PROVIDE BOX BEAM ACROSS FUR DOWN LOCATION.
- NEW MURAL TO BE PROVIDED IN THIS LOCATION. FINAL SELECTION OF MURAL DESIGN BY OWNER AT A LATER DATE. REF. ALL OWANCES FOR DETAILS.
- INFILL OPENING IN EXISTING WALL WHERE WINDOW OR DOOR IS REMOVED. USE SALVAGED MASONRY FROM DEMOLITION TO INFILL WITH MATCHING MORTAR AND MASONRY.
- NEW 3 TIER WOOD CUBBIES TO BE PROVIDED IN THIS AREA - NEW CUBBIES EQ. TO "KAPLAN EARLY LEARNING COMPANY" - CAROLINA 4 SECTION LOCKER OR CAROLINA 5 SECTION LOCKER (REF. PLAN FOR LOCATION AND LOCKER QUANTITY AND LAYOUT) - PHONE: 1 800-334-2014, WWW.KAPLANCO.COM
- OWNER PROVIDED MILK BOXES AND ICE CREAM BOX TO REMAIN AND BE REUSED - PROTECT FROM DAMAGE.
- LOCATION OF NEW ROOF HATCH SCUTTLE TO BE PROVIDED TO ACCESS - REF. ROOF PLAN AND A706-01 FOR DETAILS.
- IN THIS AREA SUSPENDED CEILING CLOUDS AND LIGHTING WILL OCCUR - REF. REFLECTED CEILING PLANS FOR HEIGHTS AND ADDITIONAL DETAILS.
- LIQUID CHALK SYSTEM (LCS) OR TACKBOARD (TB) UNIT LOCATION - G.C. SHALL INSTALL AT A HEIGHT AS DIRECTED BY THE ARCHITECT. REF. TO THE PROJ. MANUAL FOR A LCS/TB SCHEDULE. G.C. TO VERIFY THE FINAL LOCATION OF EA. UNIT W/ THE ARCHITECT PRIOR TO INSTALLATION.
- NEW CONC. RAMP AND STL. HANDRAILING - REF. SHTS A202 FOR MORE INFO.
- NEW 5" RISE CAFETERIUM STAGE AREA TO BE CONSTRUCTED OUT OF 3 5/8" MTL. STD. ON EDGE @ 16" O.C. - ATTACH TO CONCRETE FLOOR. PROVIDE BATT INSULATION IN HORIZONTAL STUD BAY AND TOP W/ 2 LAYERS 3/4" TONGUE AND GROOVE SANDED PLYWOOD. PROVIDE NEW CARPET FLOOR TILES AS SPEC. REF. A404-09 FOR DETAILS.
- LOCATION OF MTL. STD. FRAMED RAMP FROM STAGE TO FINISHED FLOOR - PROVIDE NEW CARPET TILES ON RAMP AS SPEC. REF. A404-08 FOR DETAILS.
- APPROXIMATE LOCATION OF NEW OWNER PROVIDED CEILING MOUNTED PROJECTOR SCREEN COORD. LOCATION WITH NEW CEILING MOUNTED PROJECTOR - G.C. INSTALL.
- APPROX. LOCATION OF OWNER PROVIDED, G.C. MOUNTED, CEILING MOUNTED PROJECTOR AND MOUNTING PLATE - REF. MEP FOR POWER AND DATA DETAILS. COORD. MOUNTING LOCATION WITH OWNER PROVIDED SCREEN.
- NEW STL. PIPE BOLLARDS OCCUR IN THIS AREA - REF. CIVIL FOR LOCATIONS AND BOLLARD DETAILS.
- LOCATION OF MTL. 2 TIER LOCKERS AS SPEC. MOUNTED IN MTL. STUD FRAMING - COORDINATE FRAMING AND LOCKER BASE WITH LOCKER UNITS TO BE PROVIDED - REF. A402-17 AND A305-05 FOR DETAILS.
- THIS DOOR TO BE EGRESS ONLY - PROVIDE EGRESS HARDWARE ON INTERIOR SIDE OF DOOR ONLY.
- PROVIDE ACCESS CONTROL AT INDICATED LOCATIONS - REF. HARDWARE SCHEDULE AND A501 FOR ADDITIONAL DETAILS. COORD. ELECTRICAL AS REQUIRED FOR PROVIDED ACCESS CONTROL SYSTEM - REF. MEP FOR DETAILS.
- IN THIS LOCATION PROVIDE FLOOR ELECTRICAL POWER AND DATA FOR OWNER PROVIDED EQUIPMENT. COORDINATE FINAL LOCATION WITH ARCHITECT. REF. MEP FOR DETAILS.
- WHERE NEW POWER TO BE PROVIDED IN EXISTING GYP. BD. WALL - PROVIDE MATCHING PATCH WHERE DAMAGED OR REMOVED - TEXTURE AND PAINT.
- NEW 6'-0" X 10'-0" CANOPY TO BE PROVIDED AT EGRESS LOCATIONS AS INDICATED EQ. TO MASA ARCHITECTURAL CANOPIES - EXTRUDECK EXTRUDED ALUMINUM CANOPY SYSTEM - WALL HUNG - COORDINATE REQUIRED MOUNTING HARDWARE WITH NEW AND EXISTING BUILDING SYSTEMS AND PROVIDE BLOCKING AS REQUIRED - FIELD VERIFY.
- LOCATION OF NEW GABL. RAIL SYSTEM TO BE PROVIDED AT EDGE OF MEZZANINE DECK - REF. SHT. A307 FOR DETAILS.
- LOCATION OF NEW "SHIPS LADDER" AS SPEC INSTALLED IN NEW MECHANICAL ROOM - COORD. INSTALLATION WITH MEZZANINE DECK FF. ELEVATION AND NEW WALL FRAMING AND OPENINGS.
- IN THIS LOCATION RAISED CORRIDOR CEILING OCCURS - PROVIDE MTL. STUD FRAMING W/ GYP BD. BOTH SIDES - REF. SHT A306 FOR DETAILS.
- LOCATION OF OPENING IN CABLE RAIL TO ALLOW ACCESS FROM SHIPS LADDER TO MEZZANINE WOOD DECK.
- OWNER PROVIDED REFRIGERATOR - PROVIDE NEW WATER BOX AND POWER - REF. MEP FOR DETAILS -
- OWNER PROVIDED ICE MACHINE - PROVIDE NEW WATER, DRAIN AND POWER - REF. MEP FOR DETAILS.
- APPROXIMATE LOCATION OF NEW ELECTRICAL PANELS - COORD. LOCATION AND MOUNTING WITH CONSTRUCTION TYPE - REF. MEP FOR PANEL DETAILS.

FLOOR PLAN GENERAL NOTES

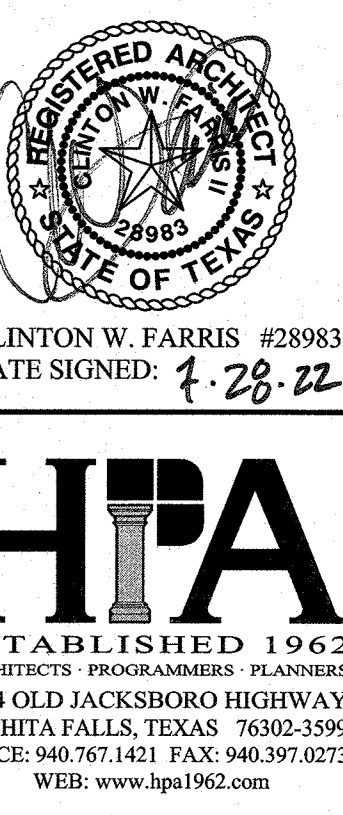
- REF. TO SEC. 099990 AND 099999 IN THE PROJECT MANUAL FOR THE "FINISH SCHEDULE" AND "FINISH SCHEDULE KEY".
- REF. THE DWGS. AND SEC. 012300 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE ALTERNATES FOR THIS PROJECT.
- REF. THE DRAWINGS AND SEC. 011000 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE BID LINE ITEMS FOR THIS PROJECT.
- BASE BID IN ALL CORRIDORS IS TO PROVIDE A 9'-0" TALL CERAMIC TILE AS SPEC. WAINSCOT W/ GYP. BD. ABOVE. REF. ALTERNATES IN 012300 OF THE PROJECT MANUAL FOR DEDUCT ALTERNATE TO PROVIDE VANDAL RESISTANT GYP. BD. IN LIEU OF CERAMIC TILE.
- AT OPENINGS - DOORS AND WINDOWS - PROVIDE GYP. BD. EXP. JT. VERTICAL AT EACH CORNER - TO ABOVE CEILING - REF. PROJECT MAN. SEC. 092116 FOR DETAILS.
- PROVIDE PAINT AS SPEC FOR ALL HM. FRAMES AND DOORS.

FLOOR PLAN LEGEND



FLOOR PLAN - ELEMENTARY - NOTED

SCALE 3/32" = 1'-0"



ADDITIONS AND RENOVATIONS TO THE
GORDON I.S.D. CAMPUS
 FOR GORDON I.S.D.
 112 RUSK STREET
 GORDON, TEXAS 76453

DRAWN BY: HPA	
DATE: 28 JULY 2022	
REVISIONS	
NO.	DESCRIPTION DATE
PROJECT NO. 20864.00	
SHEET NO. A103	

ADDITIONS AND RENOVATIONS TO THE
GORDON I.S.D. CAMPUS
FOR GORDON I.S.D.

112 RUSK STREET
GORDON, TEXAS 76453

DRAWN BY: HPA
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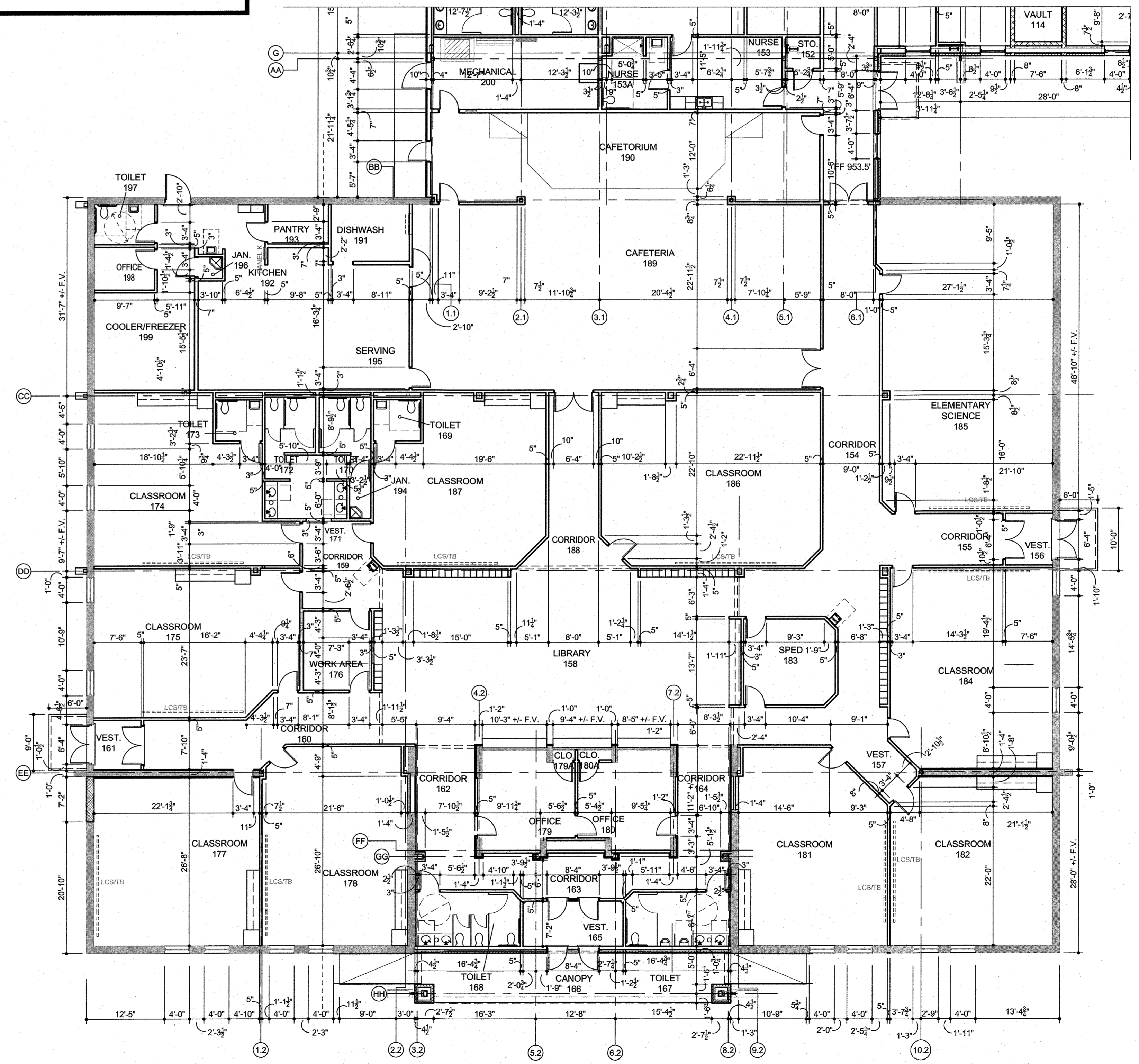
PROJECT NO.
20864.00
SHEET NO.

A104
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FLOOR PLAN LEGEND

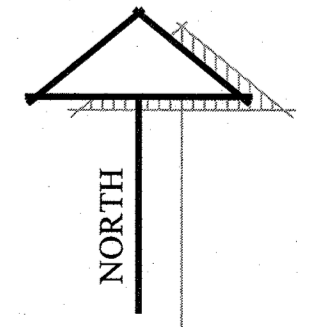
<p>INTERIOR ELEV. SYMBOL A401-01 DETAIL NUMBER SHEET NUMBER</p>	<p>SECTION CUT SYMBOL A303-05 DETAIL NUMBER SHEET NUMBER</p>	<p>OPNG. KEY 1 OPNG. #</p>	<p>KEYNOTE 1</p>
<p>MTHR METAL THRESHOLD</p>	<p>EWC ELECTRIC WATER COOLER</p>	<p>EWC-B ELECTRIC WATER COOLER W/ BOTTLE FILLER</p>	<p>FE FIRE EXTINGUISHER</p>
<p>FEC FIRE EXTINGUISHER IN FIRE EXTINGUISHER CAB.</p>	<p>LCS/TB LIQUID CHALK SYSTEM MARKERBOARD AND TACKBOARD COMBO</p>	<p>3 5/8" MTL. STD. W/ GYP. BD. 1 SIDE</p>	<p>EXISTING WALL TO REMAIN</p>
<p>DOWNSPOUT W/ RUBBER SPLASH BLOCK</p>	<p>5'-0" ALLOWABLE TURNING SPACE FOR DISABLED PERSONS</p>	<p>30"x48" CLEAR FLOOR SPACE FOR DISABLED PERSONS AT A LAVATORY</p>	<p>EXT. WALL - PEMB W/ EIFS & BRICK VENEER AND STUD INT.</p>
<p>EXT. WALL - PEMB W/ EXT. MTL. PNL. AND STUD INT.</p>	<p>EXT. WALL - MTL. STD. W/ EXT. MTL. PNL AND GYP. BD.</p>	<p>EXT. WALL - MTL. STD. W/ EXT. EIFS & BRICK VENEER AND GYP. BD. INT.</p>	<p>6" MTL. STD. W/ GYP. BD. 2 SIDES</p>
<p>3 5/8" MTL. STD. W/ GYP. BD. 2 SIDES</p>	<p>3 5/8" MTL. STD. W/ GYP. BD. 2 SIDES</p>	<p>EXISTING WALL TO REMAIN</p>	<p> </p>

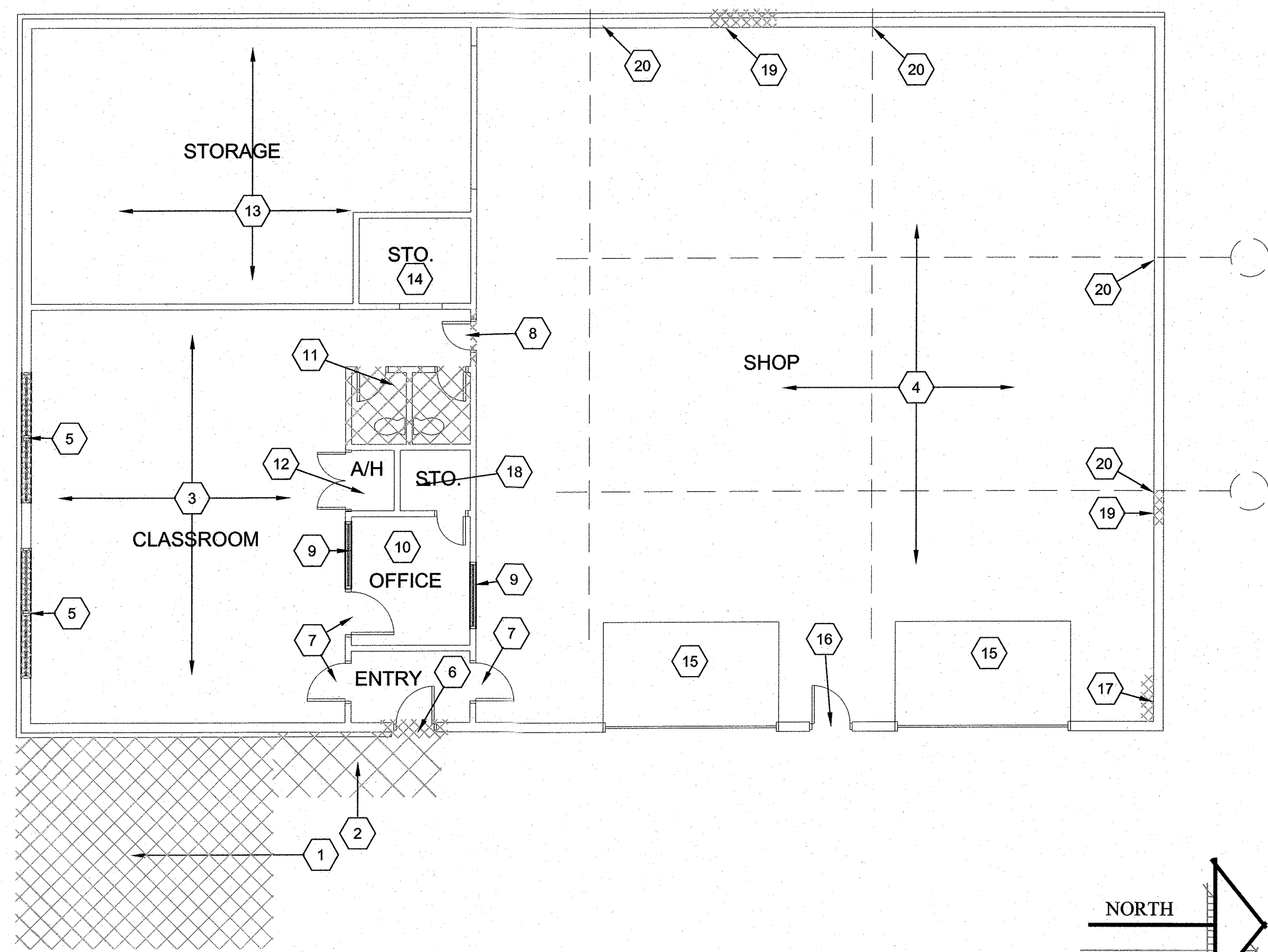
- ### FLOOR PLAN GENERAL NOTES
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 - AT OPENINGS - DOORS AND WINDOWS - PROVIDE GYP. BD. EXPT. JT. VERTICAL AT EACH CORNER - TO ABOVE CEILING - REF. PROJ. MAN. SEC. 082116 FOR DETAILS.
 - PROVIDE PAINT AS SPEC FOR ALL HM. FRAMES AND DOORS.



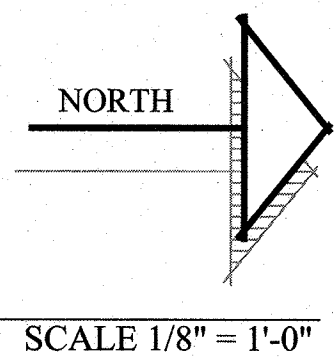
FLOOR PLAN - ELEMENTARY - DIMENSIONED

SCALE 3/32" = 1'-0"





FLOOR PLAN - DEMOLITION - CTE BUILDING

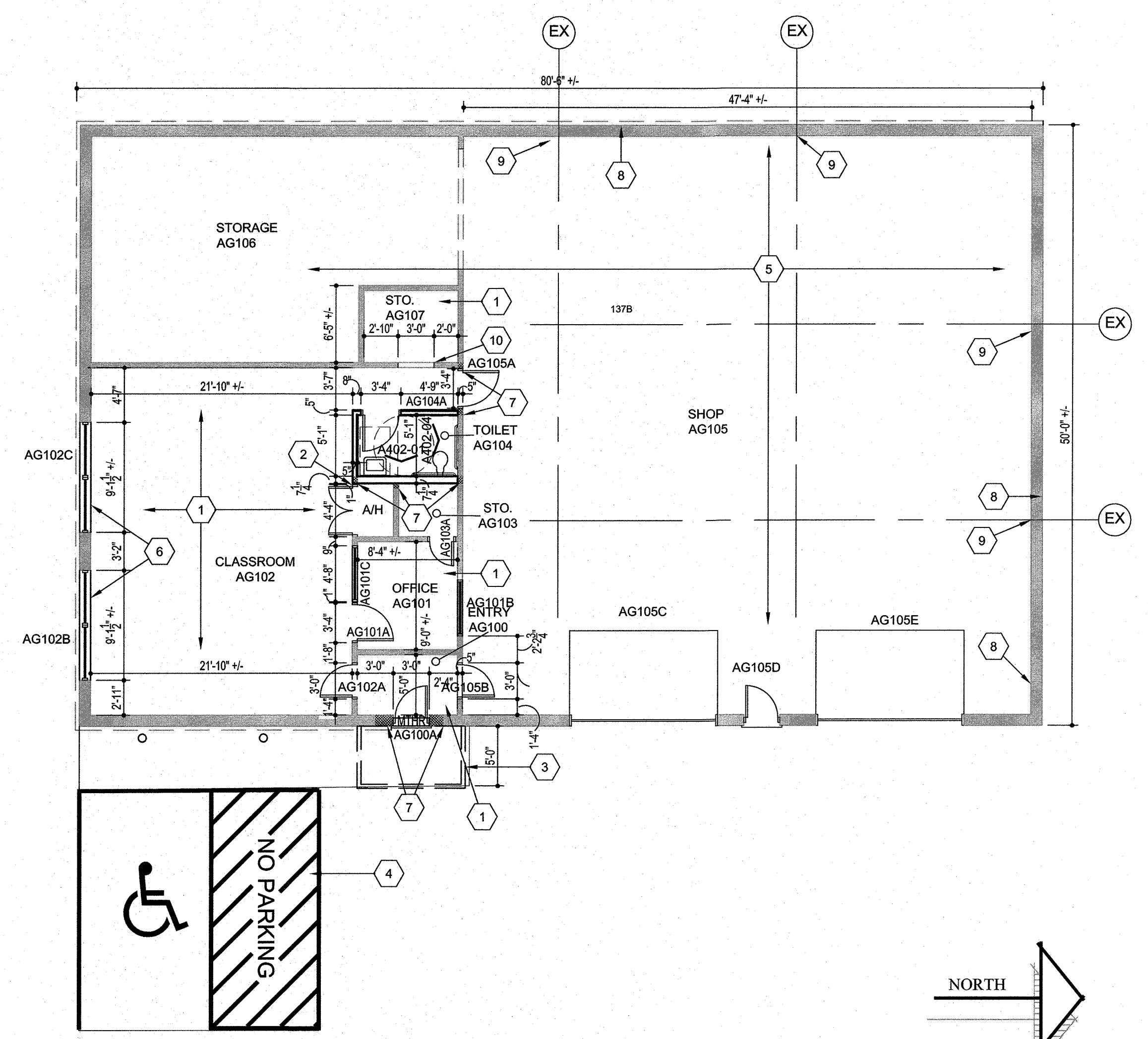


FLOOR PLAN KEYNOTES

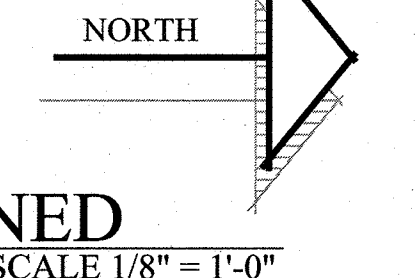
1. IN EXISTING AREAS AS INDICATED, THE FLOORING AND BASE WILL REMAIN AND SHALL BE PROTECTED FROM DAMAGE. NEW CEILING GRID AND TILES WILL BE PROVIDED IN CLASSROOM, OFFICE, ENTRY STORAGE AND NEW TOILET AREA - SEE REF. CLG FOR DETAILS. PROVIDE NEW TEXTURE AND PAINT ON ALL NEW AND EXISTING WALLS AS SPEC WHERE INDICATED. EXISTING DUCTWORK WILL REMAIN AND NEW CEILING GRILLES WILL SHALL BE PROVIDED. NEW LIGHTING TO BE PROVIDED AS INDICATED ON THE DRAWINGS.
2. EXISTING MECHANICAL ROOM DOORS SHALL REMAIN - PAINT DOORS AND FRAME.
3. PROVIDE NEW "ROD HUNG" EXTRUDED ALUMINUM CANOPY MOUNTED TO THE EXISTING PEMB STRUCTURE EQ. TO EXTRUDECK SERIES ALUMINUM ALUMINUM CANOPY AS SPEC. FIELD VERIFY EXISTING PEMB STRUCTURE AND COORDINATE INSTALLATION OF NEW CANOPY AND WALL TO ROOF TRANSITIONS PRIOR TO BIDDING.
4. LOCATION OF NEW ACCESSIBLE PARKING AREA AND NO PARKING DESIGNATED AREA - REF. CIVIL FOR DETAILS.
5. IN EXISTING SHOP AREA NEW ELECTRICAL AND MECHANICAL SYSTEMS WILL BE PROVIDED. REF. MEP SHEETS FOR DETAILS.
6. WHERE NEW WINDOWS SHALL BE INSTALLED IN EXISTING OPENING, PROVIDE NEW SOLID SURFACE WINDOW SILLS, END DAMS AND DRIP FLASHING AS DETAIL AND PROVIDE NEW GYP. BD. AT EXISTING JAMB AND HEAD OF EXISTING OPENINGS - TEXTURE AND PAINT. REF. A501 FOR DETAILS.
7. WHERE PORTION OF WALL IS REMOVED OR DAMAGED DURING CONSTRUCTION OR DEMOLITION, PROVIDE NEW WALL PATCH TO MATCH EXISTING WALL AND FINISH - PRIMARILY GYPSUM BOARD - FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BIDDING.
8. WHERE ELECTRICAL COMPONENTS AND MECHANICAL COMPONENTS ARE REMOVED OR RELOCATED, PROVIDE NEW PATCH IN EXISTING METAL PANEL WALL TO MAINTAIN A WEATHER TIGHT ENVELOPE - FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND PROPOSERS TO COORDINATE MATERIALS REQUIRED TO MATCH EXISTING PRIOR TO BIDDING. REF. MEP DRAWINGS FOR LOCATIONS OF WORK TO BE PERFORMED.
9. WHERE NEW 220V RECEPTACLE TO BE LOCATED ON EXISTING BUILDING COLUMN - COORDINATE NEW COMPONENTS WITH EXISTING COLUMNS - FIELD VERIFY EXISTING CONDITIONS PRIOR TO PROPOSAL.
10. EXISTING CASING OPENING TO REMAIN - PAINT EXISTING TRIM AND CASING.

FLOOR PLAN GENERAL NOTES

1. REF. TO SEC. 099990 AND 099999 IN THE PROJECT MANUAL FOR THE "FINISH SCHEDULE" AND "FINISH SCHEDULE KEY".
2. REF. THE DWGS. AND SEC. 012300 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE ALTERNATES FOR THIS PROJECT.
3. REF. THE DRAWINGS AND SEC. 011000 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE BID LINE ITEMS FOR THIS PROJECT.
4. BASE BID IN ALL CORRIDORS IS TO PROVIDE A 6'-0" TALL CERAMIC TILE AS SPEC. WAINSCOT W/ GYP. BD. ABOVE. REF. ALTERNATES IN 012300 OF THE PROJECT MANUAL FOR DEDUCT ALTERNATE TO PROVIDE VANDAL RESISTANT GYP. BD. IN LIEU OF CERAMIC TILE.
5. AT OPENINGS - DOORS AND WINDOWS - PROVIDE GYP. BD. EXP. JT. VERTICAL AT EACH CORNER - TO ABOVE CEILING - REF. PROJECT MAN. SEC. 092116 FOR DETAILS.
6. PROVIDE PAINT AS SPEC FOR ALL HM. FRAMES AND DOORS.



FLOOR PLAN - CTE BUILDING - NOTED AND DIMENSIONED



DEMOLITION KEYNOTES - CTE

1. EXISTING CHIP AND SEAL AND GRAVEL TO BE REMOVED AND PILED FOR FUTURE USE. PREPARE SUBGRADE FOR NEW HANDICAP ACCESSIBLE PARKING AREA - REF. CIVIL FOR DETAILS.
2. REMOVE EXISTING CONCRETE STOOP, GRAVEL AND CHIP AND SEAL WHERE NEW ACCESSIBLE WALKWAY WILL BE PROVIDED. PILE GRAVEL AND CHIP AND SEAL FOR FUTURE USE AND HAUL CONCRETE OFFSITE. COORD. WITH NEW FLATWORK - REF. CIVIL FOR ADDITIONAL DETAILS.
3. IN EXISTING CLASSROOM, REMOVE EXISTING CEILINGS AND LIGHTING AND HAUL OFFSITE. REMOVE EXISTING HVAC GRILLES AND DIFFUSERS, NEW LIGHTING TO BE PROVIDED ON EXISTING CIRCUIT. EXISTING DUCTWORK SHALL REMAIN. FLOORING AND WALL TEXTURE SHALL REMAIN - PROTECT FROM DAMAGE. REF. MEP FOR ADDITIONAL DETAILS.
4. IN SHOP AREA, REMOVE EXISTING LIGHTING AND HAUL OFFSITE AND PREPARE FOR NEW LIGHTING TO BE INSTALLED. REF. MEP FOR DETAILS.
5. REMOVE EXISTING WINDOWS IN EXISTING PEMB WALL AND HAUL OFFSITE. PREPARE EXISTING OPENING FOR NEW WINDOWS TO BE PROVIDED - KEEP BUILDING WEATHERTIGHT AT ALL TIMES. REF. PLAN FOR DETAILS.
6. REMOVE EXISTING HM. DR. AND FRAME AND HAUL OFFSITE. PREPARE OPENING FOR NEW DOOR AND FRAME WITH ACCESS CONTROL HARDWARE. REF. PLAN FOR DETAILS.
7. EXISTING DOOR AND FRAME TO REMAIN AND WILL RECEIVE NEW HARDWARE AND PAINT. PROTECT FROM DAMAGE.
8. REMOVE EXISTING DOOR, FRAME AND SECTION OF WALL AS NECESSARY TO INSTALL NEW DOOR AND FRAME AS SCHEDULED. REF. PLANS FOR DETAILS.
9. EXISTING INTERIOR WINDOW AND FRAME TO REMAIN. FRAMES TO BE PAINTED - PROTECT FROM DAMAGE.
10. IN EXISTING OFFICE AREA REMOVE EXISTING CEILING AND LIGHTING AND HAUL OFFSITE. PREPARE AREA FOR NEW CEILING AND NEW LIGHTING AS SCHEDULED - REF. MEP FOR ADDITIONAL DETAILS. EXISTING MILLWORK, FLOORING AND WALLS WILL REMAIN - PROTECT FROM DAMAGE.
11. REMOVE EXISTING TOILET AREAS AND PREPARE FOR NEW SINGLE USER TOILET. REMOVE FIXTURES, WALLS, DOORS, FRAMES AND ALL ASSOCIATED COMPONENTS AND HAUL OFFSITE. PREPARE AREA FOR NEW TOILET AREA AS NECESSARY. REF. MEP FOR ADDITIONAL DETAILS.
12. EXISTING AIR HANDLER AND ASSOCIATED COMPONENTS IN CLOSET TO REMAIN AND BE REUSED. PROTECT FROM DAMAGE.
13. IN EXISTING STORAGE AREA - ONLY NEW LIGHTING TO BE PROVIDED - REF. MEP FOR DETAILS.
14. IN EXISTING STORAGE AREA - REMOVE EXISTING CEILING AND LIGHTING AND PREPARE FOR NEW CEILING AND LIGHTING. FLOORS AND WALLS WILL REMAIN AND FINISH AS SCHEDULED. REF. PLANS FOR DETAILS.
15. EXISTING OVERHEAD DOORS TO REMAIN - PROTECT FROM DAMAGE.
16. EXISTING DOOR AND FRAME TO REMAIN AND TO RECEIVE NEW PAINT AND NEW TAS/ADA COMPLIANT HARDWARE.
17. EXISTING DISTRIBUTION PANEL TO BE REMOVED AND RELOCATED - REF. MEP FOR DETAILS.
18. NEW LIGHT FIXTURE AND SWITCH IN THIS AREA ONLY - NO OTHER WORK TO OCCUR.
19. REMOVE SECTION OF EXISTING PEMB WALL PANEL ABOVE GIRT TO INSTALL NEW MECHANICAL LOUVRE AS SCHEDULED. COORDINATE DIMENSIONS OF WALL REMOVAL WITH NEW LOUVRE TO BE PROVIDED. MAINTAIN A WEATHERTIGHT BUILDING AT ALL TIMES.
20. EXISTING 2 POLE RECEPTACLE TO BE REMOVED AND RELOCATED - REF. MEP FOR DETAILS.

GENERAL DEMOLITION NOTES

1. ARCHITECT AND ENGINEER HAVE EXHAUSTED EVERY EFFORT TO VERIFY EXISTING DIMENSIONS AND CONDITIONS. G.C. TO FIELD VERIFY EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY VARIATIONS.
2. DEMOLITION WORK INVOLVING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS OCCURS IN VARIOUS AREAS. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION PLANS FOR MORE INFORMATION.
3. REF. TO CIVIL SHEETS FOR ADDITIONAL DEMOLITION ITEMS RELATED TO EXISTING SITE ELEMENTS.

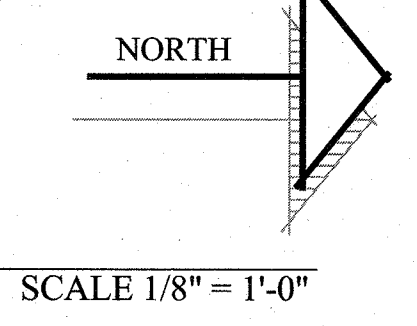
FLOOR PLAN LEGEND

INTERIOR ELEV. SYMBOL	SECTION CUT SYMBOL	OPNG. KEY	KEYNOTE
A401-01 DETAIL NUMBER SHEET NUMBER	A303-05	OPNG. #	KEYNOTE
MTHR	MTHR	5'-0" ALLOWABLE TURNING SPACE FOR DISABLED PERSONS	
EWC	EWC	30"x48" CLEAR FLOOR SPACE FOR DISABLED PERSONS AT A LAVATORY	
EWC-B	EWC-B	EXT. WALL - PEMB W/ EIFS & BRICK VENEER AND STUD INT.	
FE	FE	EXT. WALL - PEMB W/ EXT. MTL. PNL. AND STUD INT.	
FEC	FEC	EXT. WALL - MTL. STD. W/ EXT. MTL. PNL AND GYP. BD.	
LCS TB	LCS TB	EXT. WALL - MTL. STD. W/ EXT. EIFS & BRICK VENEER AND GYP. BD. INT.	
DSB	DSB	3 5/8" MTL. STD. W/ GYP. BD. 1 SIDE	
		6" MTL. STD. W/ GYP. BD. 2 SIDES	
		3 5/8" MTL. STD. W/ GYP. BD. 2 SIDES	
		EXISTING WALL TO REMAIN	

REFLECTED CEILING LEGEND

2'x2' 1" SQUARE EDGE PEBBLE ACOUSTIC CEILING TILE AS SPEC.	2'x2' SUSPENDED ACOUSTICAL CEILING CLOUDS -
2'x2' SUSPENDED ACOUSTICAL CEILING - VINYL FACED GYPSUM BOARD	EIFS SOFFIT CEILING AT ENTRANCE CANOPIES
PRE-FIN. MTL. SOFFIT PANEL - EYEBROW CANOPY	ACOUSTIC CLOUDS 10'-0" AFF. - PROVIDE EQ. TO CERTAINTED ECOPHON SOLO FREEDOM OVAL ACOUSTIC CEILING CLOUDS - PROVIDE WITH 3 COLOR CHOICES TO BE SELECTED BY OWNER - SIZE SHOWN 2400MM X 1200MM
LIGHT FIXTURES	EXIT LIGHT
	HVAC SUPPLY DIFFUSER
	HVAC RETURN AIR/EXHAUST GRILLE
	VRF CEILING CASSETTE - COORD. W/ GRID AND LIGHTING

REFLECTED CEILING PLAN - CTE BUILDING



REGISTERED ARCHITECT
STATE OF TEXAS
CLINTON W. FARRIS #28983
DATE SIGNED: 1-28-22

HPA
ESTABLISHED 1962
ARCHITECTS PROGRAMERS PLANNERS
4724 OLD JACKSBORO HIGHWAY
WICHITA FALLS, TEXAS 76302-3599
VOICE: 940.767.1421 FAX: 940.397.0273
WEB: www.hpainc.com

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 112 RUSK STREET
 GORDON, TEXAS 76453

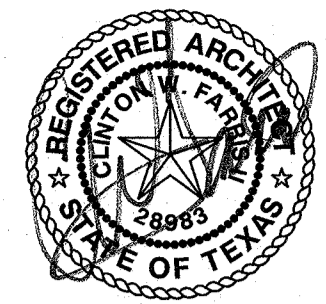
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DATE: 28 JULY 2022

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SHEET NO.
A105

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CLINTON W. FARRIS #28985
DATE SIGNED: 1-28-22

HPA
ESTABLISHED 1962
ARCHITECTS - PROGRAMMERS - PLANNERS
4724 OLD JACKSBORO HIGHWAY
WICHITA FALLS, TEXAS 76702-3599
VOICE: 940.767.1421 FAX: 940.397.0273
WEB: www.hpa1962.com

ADDITIONS AND RENOVATIONS TO THE
GORDON I.S.D. CAMPUS
FOR GORDON I.S.D.

112 RUSK STREET
GORDON, TEXAS 76453

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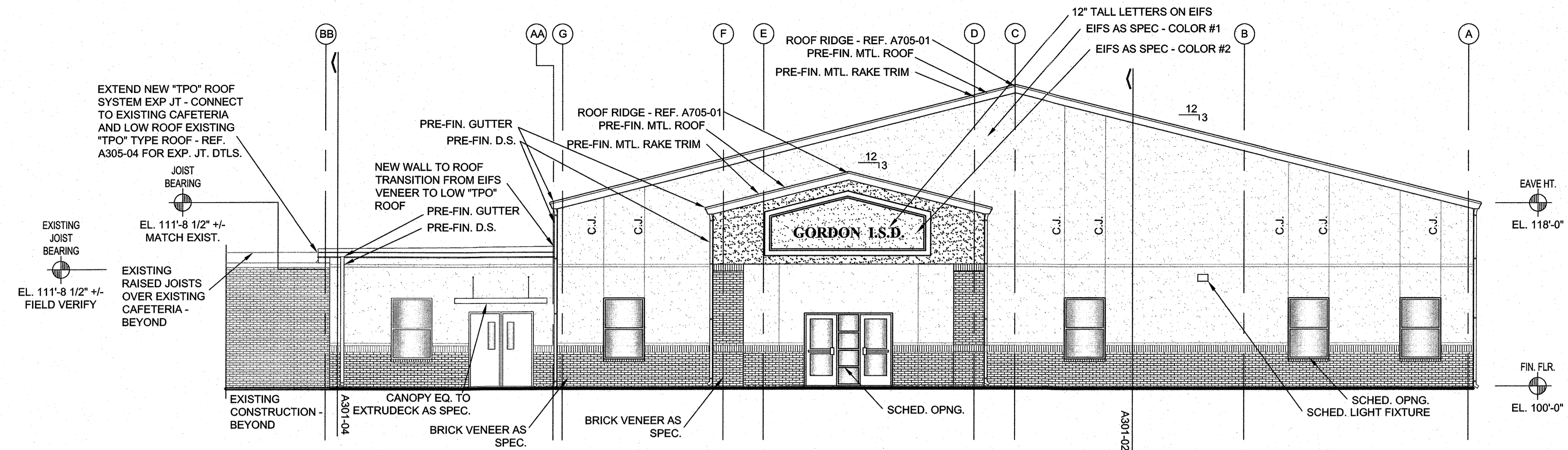
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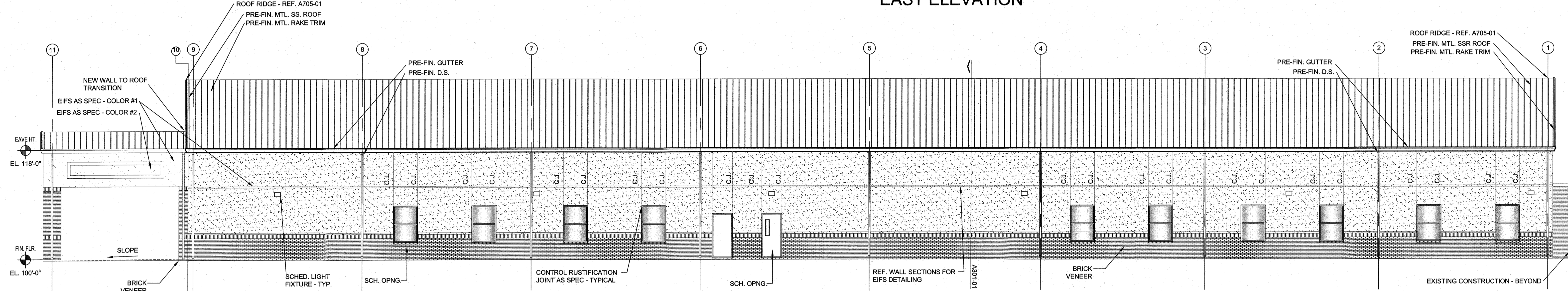
SHEET NO.

A201

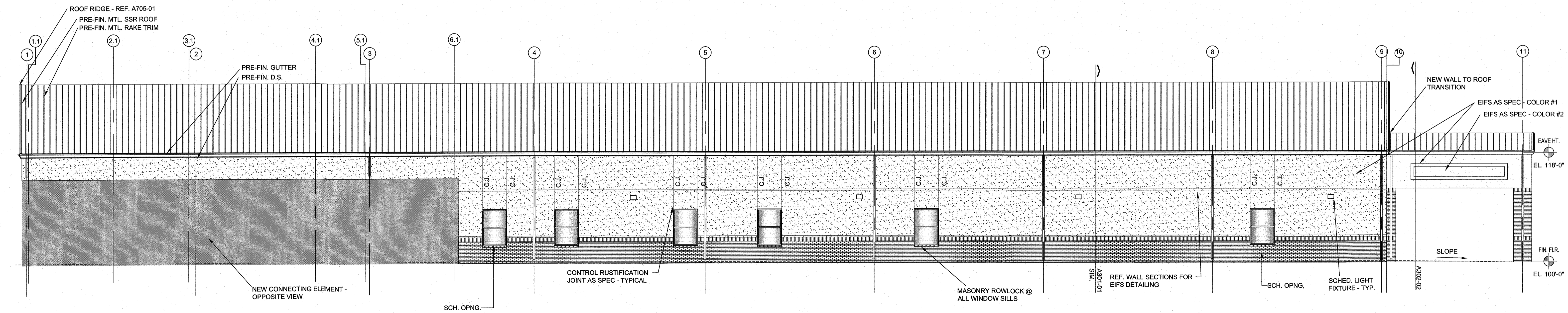
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EAST ELEVATION



NORTH ELEVATION

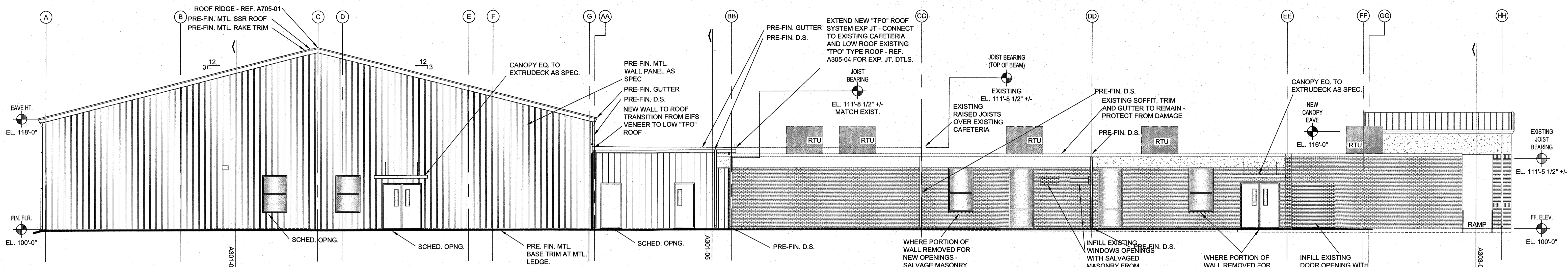


SOUTH ELEVATION - SECONDARY (HIGH SCHOOL) FACILITY

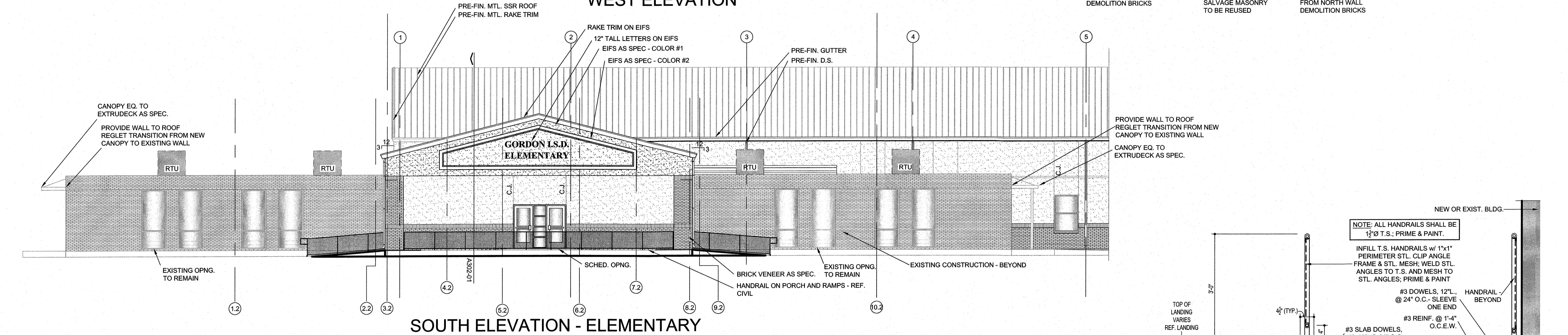
EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

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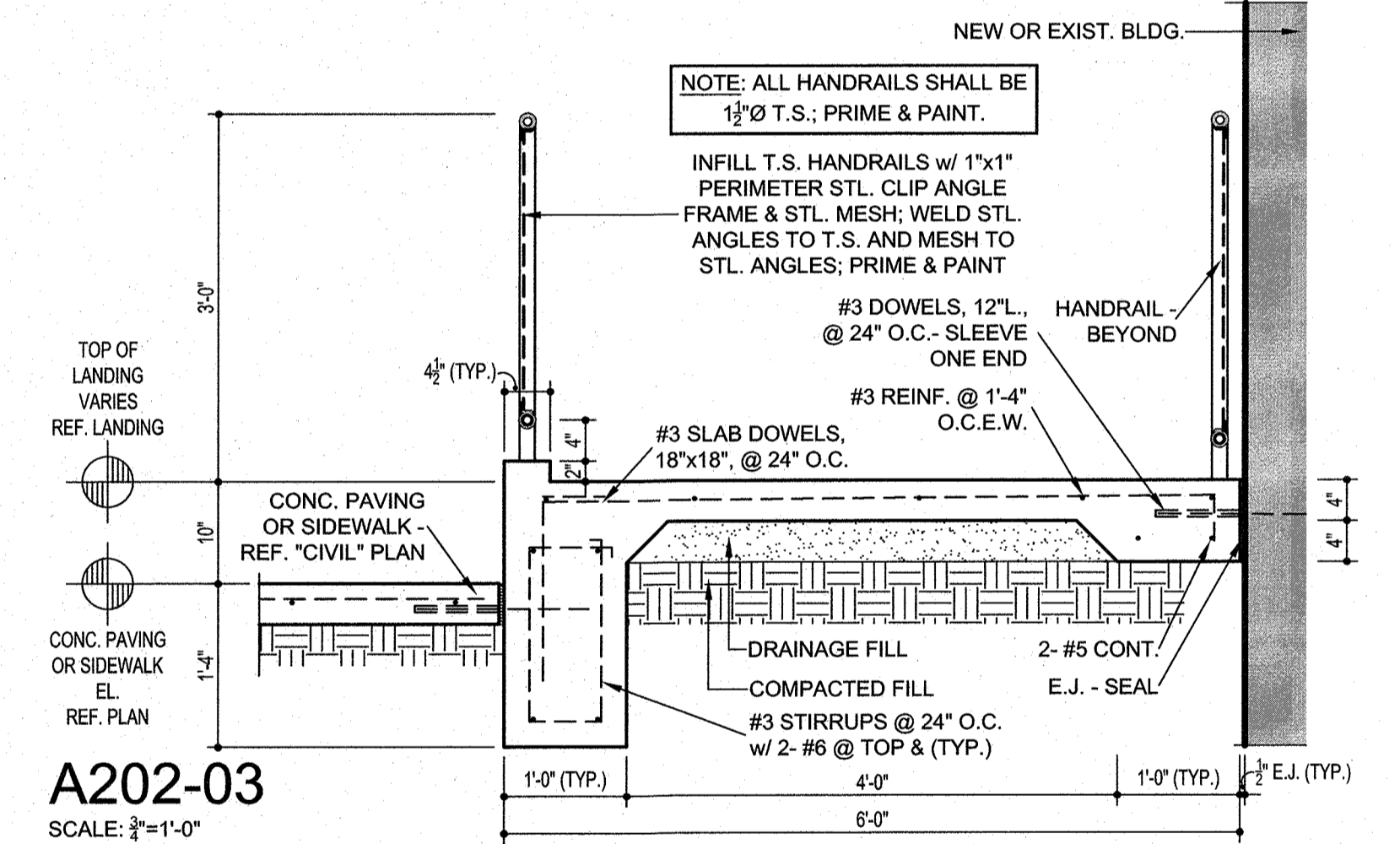
WEST ELEVATION



SOUTH ELEVATION - ELEMENTARY

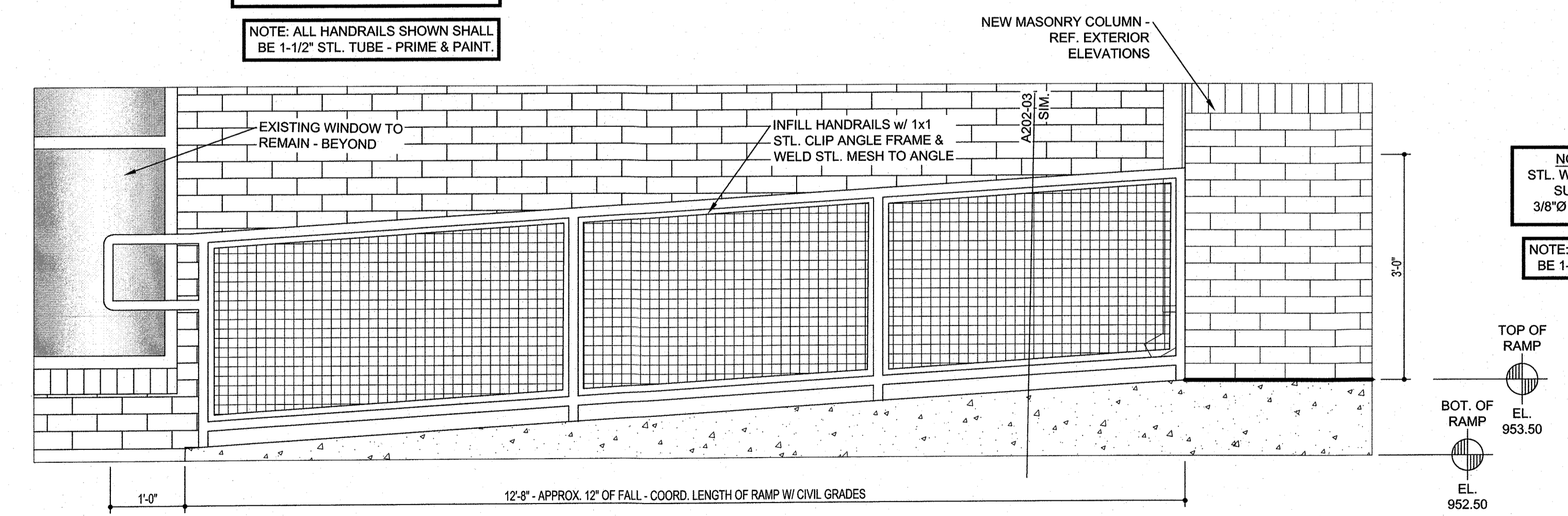
EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

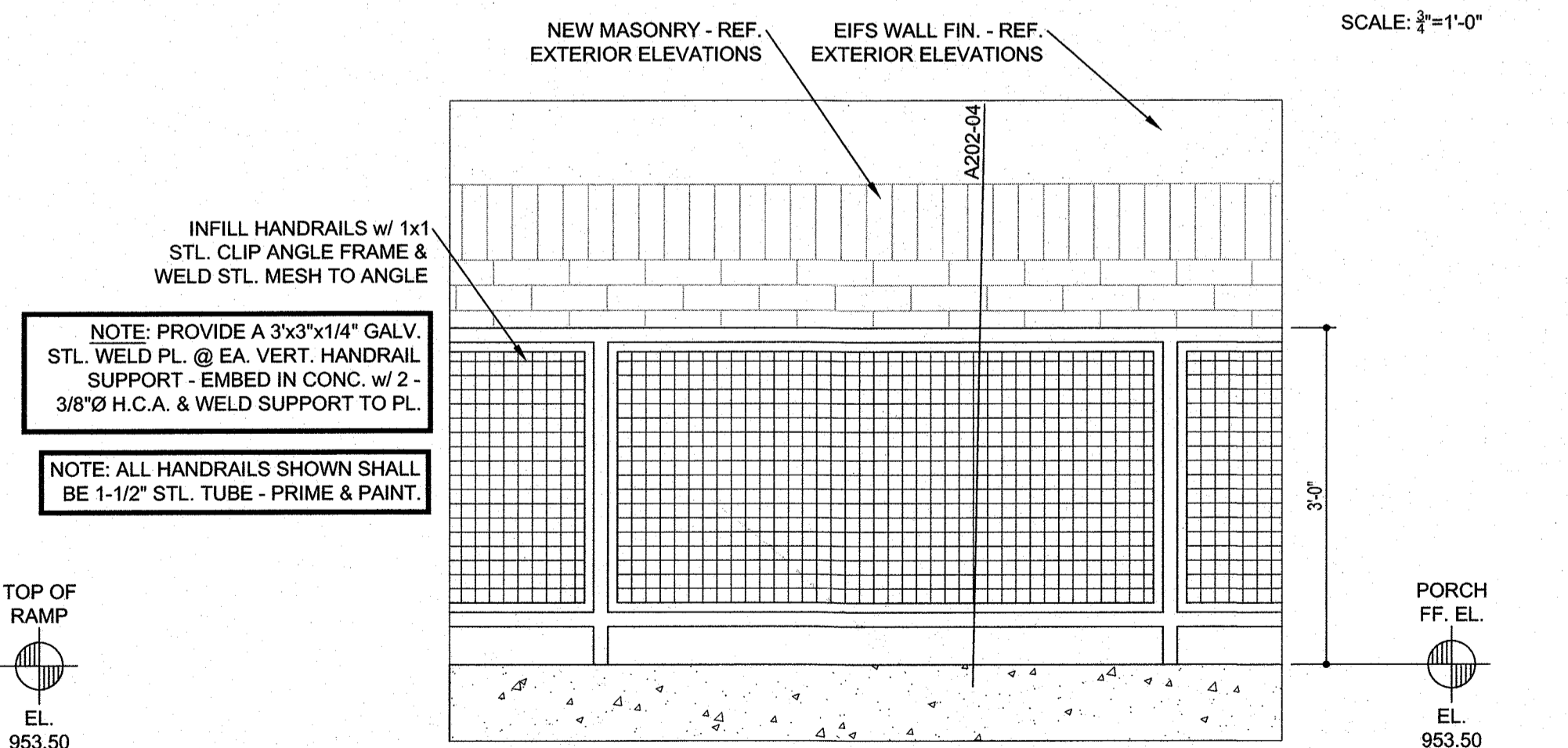


A202-03
 SCALE: 3/4" = 1'-0"

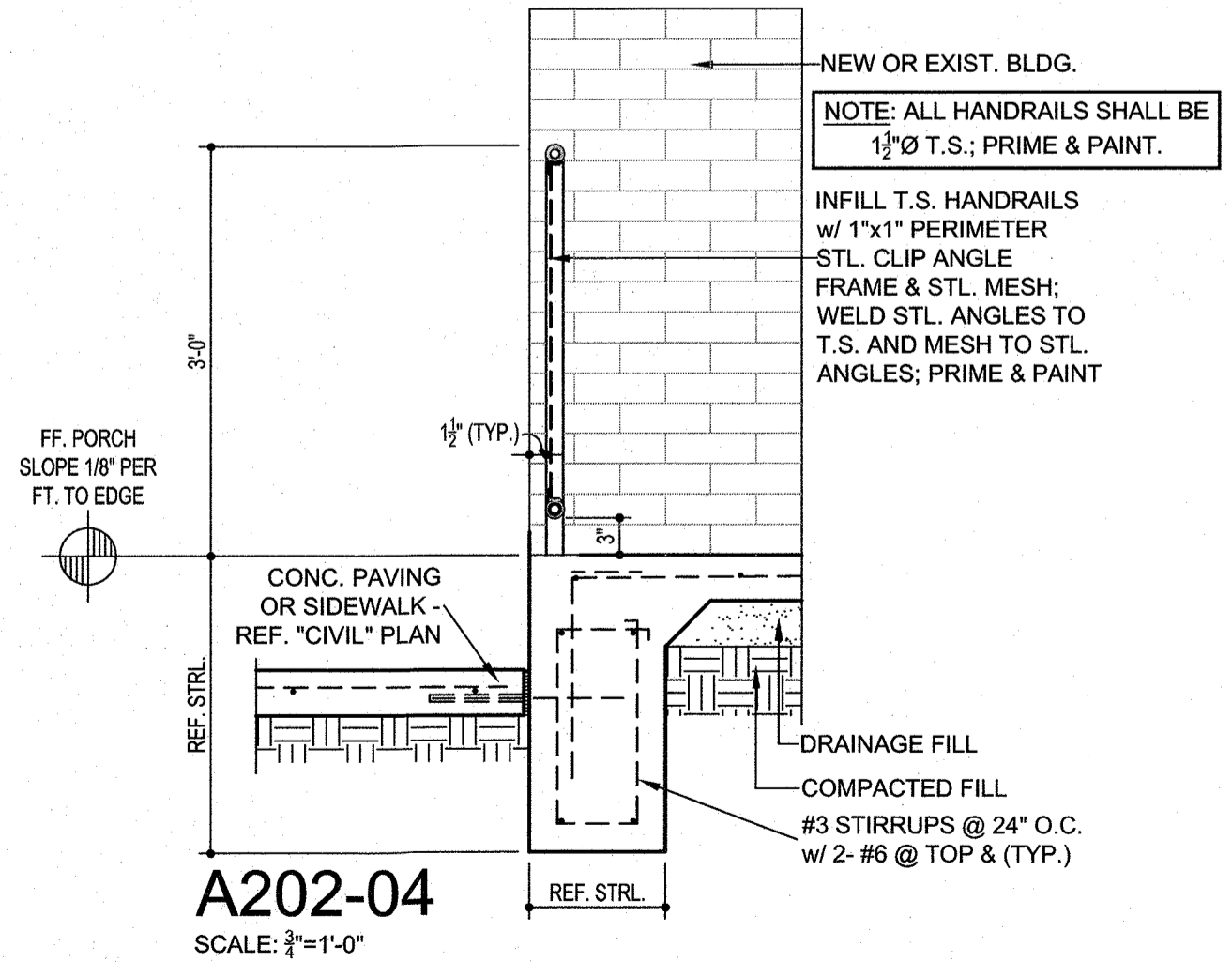
NOTE: PROVIDE A 3"x3"x1/4" GALV. STL. WELD PL. @ EA. VERT. HANDRAIL SUPPORT - EMBED IN CONC. w/ 2 - 3/8"Ø H.C.A. & WELD SUPPORT TO PL.
 NOTE: ALL HANDRAILS SHOWN SHALL BE 1-1/2" STL. TUBE - PRIME & PAINT.



A202-01
 EGRESS RAMP AT ELEMENTARY ADDITION
 SCALE: 3/4" = 1'-0"



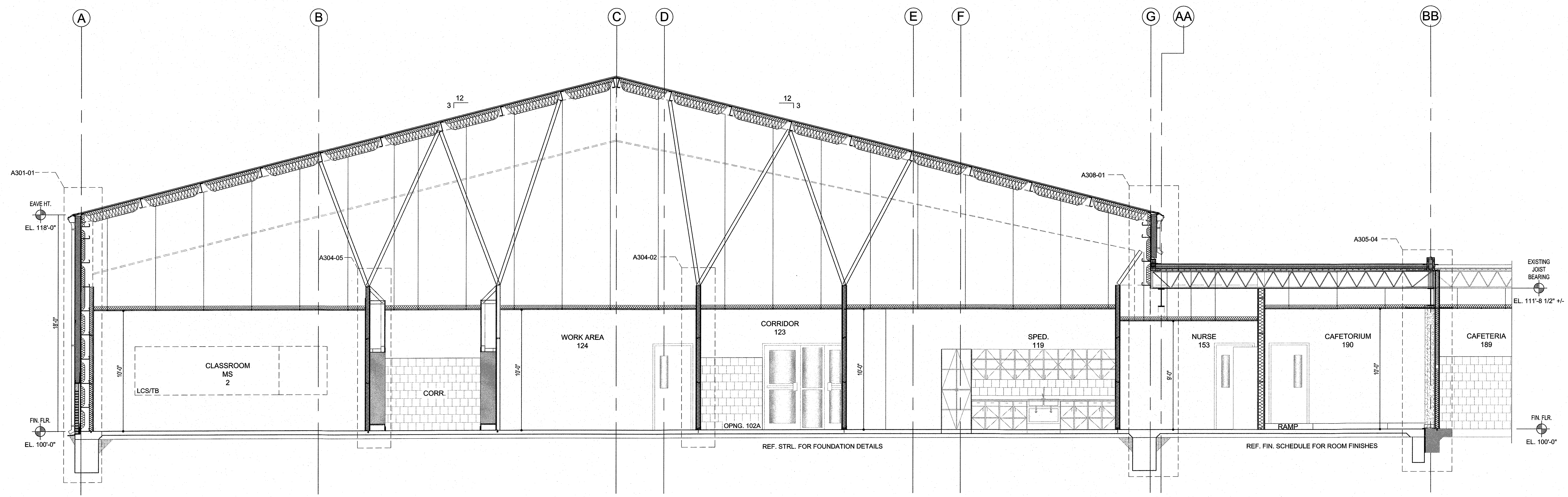
A202-02
 PORCH RAIL SECTION - ELEMENTARY PORCH - TYPICAL
 SCALE: 3/4" = 1'-0"



A202-04
 SCALE: 3/4" = 1'-0"

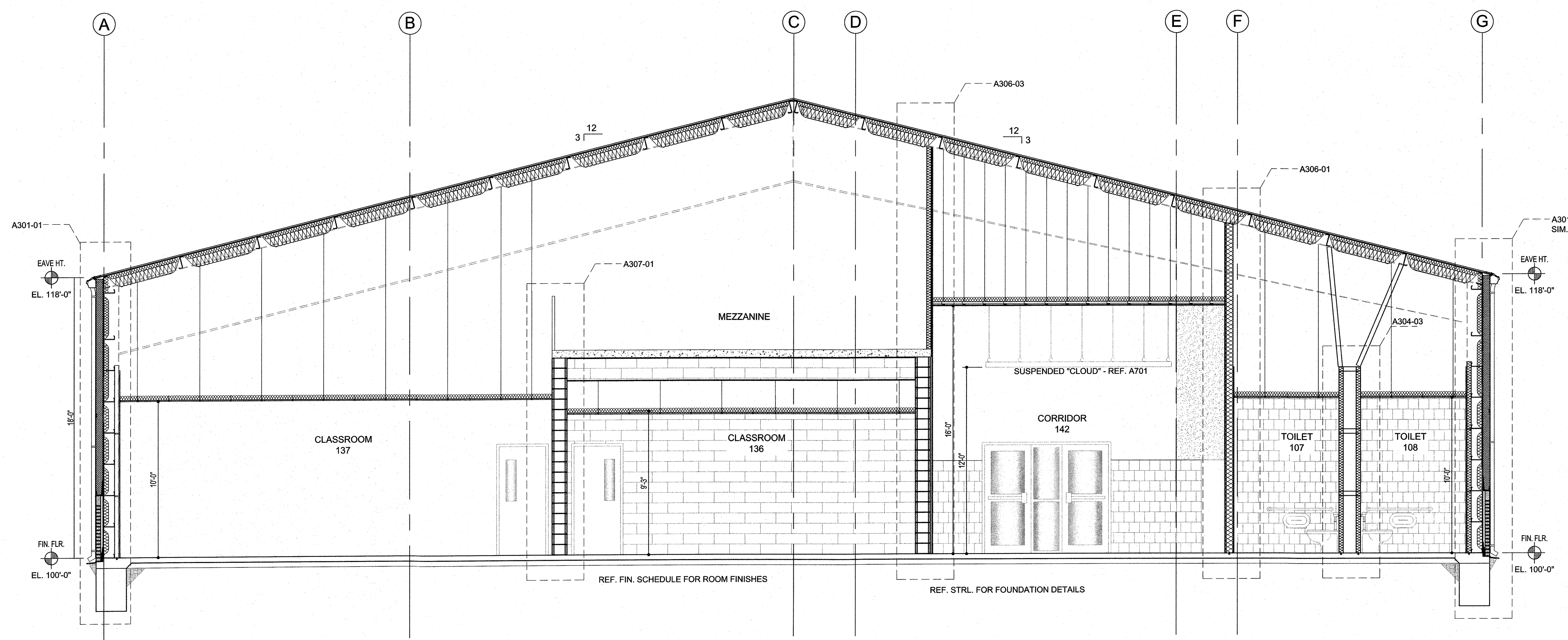
EXTERIOR ELEVATIONS DETAILS

SCALE 3/4" = 1'-0"



BUILDING SECTION A203-01 - FOR REFERENCE ONLY

SCALE 1/4" = 1'-0"



BUILDING SECTION A203-02 - FOR REFERENCE ONLY

SCALE 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. REF. TO SEC. 099990 AND 099999 IN THE PROJECT MANUAL FOR THE "FINISH SCHEDULE" AND "FINISH SCHEDULE KEY".
2. REF. THE DWGS. AND SEC. 012300 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE ALTERNATES FOR THIS PROJECT.
3. REF. THE DRAWINGS AND SEC. 011000 OF THE PROJ. MANUAL FOR MORE INFO. AND DESCRIPTIONS ON THE BID LINE ITEMS FOR THIS PROJECT.
4. BASE BID IN ALL CORRIDORS IS TO PROVIDE A 6'-0" TALL CERAMIC TILE AS SPEC. WAINSCOT W/ GYP. BD. ABOVE. REF. ALTERNATES IN 012300 OF THE PROJECT MANUAL FOR DEDUCT ALTERNATE TO PROVIDE VANDAL RESISTANT GYP. BD. IN LIEU OF CERAMIC TILE.
5. AT OPENINGS - DOORS AND WINDOWS - PROVIDE GYP. BD. EXP. JT. VERTICAL AT EACH CORNER - TO ABOVE CEILING - REF. PROJECT MAN. SEC. 092116 FOR DETAILS.
6. PROVIDE PAINT AS SPEC FOR ALL HM. FRAMES AND DOORS.

WALL SECTION GENERAL NOTES

1. REF. TO THE "FINISH SCHEDULE" INCLUDED IN THE PROJECT MANUAL FOR THE SPECIFIC CEILING FINISH AND HEIGHT, WALL FINISH, WALL BASE, AND FLOOR FINISH FOR EA. ROOM OR SPACE.
2. AT SOME LOCATIONS, ROOF STRUCTURE MAY RUN PARALLEL TO A WALL SEC. - REF. STR. PLANS FOR LOCATIONS.
3. THE SPACING & GAUGE OF THE STR. STL. WALL STUDS SHALL BE COORDINATED w/ THE STR. PLANS AND STUD SCHEDULES.
4. MTL. BLDG. MFG. SHALL PROVIDE STL. FRAMING MEMBERS IN THE ROOF AS NECESSARY TO SUPPORT THE INSTALLATION OF ANY SCH. SUS. HVAC EQUIPMENT - REF. TO THE MECH., PLUMBING, & ELEC. PLANS FOR MORE INFO.
5. THE VAPOR BARRIER SHALL BE PLACED w/ ALL SEAMS & PENETRATIONS BEING TAPED AND SEALED AS SPEC. IN THE PROJ. MANUAL.
6. EXISTING FACILITY CONSTRUCTION TYPE AND ELEVATION VARY WIDELY AND WILL REQUIRE FIELD VERIFICATION AND COORDINATION. WHERE NEW CONSTRUCTION ABUTS EXISTING STRUCTURE - FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.

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