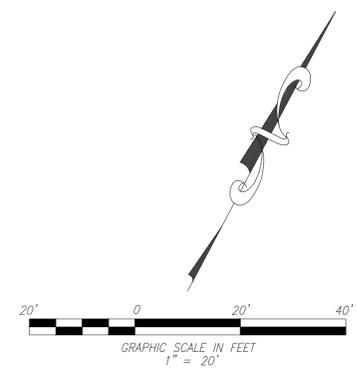


### SITE LEGEND

---	PROPERTY LINE
- - - -	EASEMENT
	CURB AND GUTTER
///	ASPHALT
—OHE	EXISTING OVERHEAD ELECTRIC
—UGE	EXISTING UNDERGROUND ELECTRIC
—SS	EXISTING SANITARY SEWER
—W	EXISTING WATER
—GAS	EXISTING GAS
—SD	EXISTING STORM SEWER
---	EXISTING CONTOUR

SIDEWALK PAVING - PROP LIGHT DUTY CONCRETE PAVEMENT (PRIVATE) 4" 4,000 PSI REINFORCED CONCRETE W/ #3 BARS @ 24" O.C.E.W OVER 6" COMPACTED LIME STABILIZED SUB-GRADE PER SITE GEOTECHNICAL REPORT

PARKING LOT AND FIRELANE PAVING - PROP HEAVY DUTY CONCRETE (PRIVATE) 6" 4,000 PSI REINFORCED CONCRETE W/ #4 BARS @ 18" O.C.E.W OVER 6" COMPACTED LIME STABILIZED SUBGRADE PER SITE GEOTECHNICAL REPORT



**PAVING NOTES:**

1. REFER ARCHITECTURE PLANS FOR ALL BOLLARD LOCATIONS.
2. REFER ARCHITECTURE PLANS FOR SITE SIGNATURE AND WAY FINDING.
3. BARRIER FREE RAMP SHOWN AS SYMBOL ONLY. SEE SHEET C-702 FOR DETAILS.
4. ALL MATERIALS AND PRACTICES SHALL BE SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND THE MOST RECENT ADDITION INCLUDING MOST RECENT AMBENDMENTS.
5. REFER IRRIGATION PLANS AND ELECTRICAL PLANS FOR ALL SLEEVING. COORDINATE SLEEVING WITH OWNER PRIOR TO PLACING PAVEMENT. AT A MINIMUM, 3" SLEEVING SHALL BE INSTALLED TO ALL LANDSCAPE AREAS THAT ARE ISLANDED BY PAVING. DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
7. WHEN USED, A WHEEL STOP SHALL BE INSTALLED SO THE PARKING SPACE IS A MINIMUM OF 18" DEEP MEASURED FROM THE FACE OF THE WHEEL STOP.
8. ALL PAVEMENT OUTSIDE OF THE RIGHTS-OF-WAY IS PRIVATE.
9. HANDICAPPED PARKING SIGNS SHALL BE MOUNTED IN THE CURB AND WILL BE LOCATED IN FRONT OF ALL HANDICAPPED PARKING SPACES PER DETAILS INCLUDED IN THESE PLANS.
10. CONTRACTOR TO LAY OUT SAW JOINTS PER GEOTECH RECOMMENDATIONS AND CITY STANDARDS. UNDER NO CIRCUMSTANCE SHALL THE DISTANCE BETWEEN SAW JOINTS BE MORE THAN TWICE THE PAVING THICKNESS IN FEET. FOR INSTANCE, A 5" PAVING SECTION SHALL HAVE SAW JOINTS AT NO MORE THAN 10-FOOT SPACING ON CENTER.

**FLOOD PLAIN NOTE:**  
 ACCORDING TO THE INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), COMMUNITY PANEL NO. 48251C0350J, REVISED DECEMBER 04, 2012, NONE OF THIS PROPERTY APPEARS TO LIE WITHIN THE "SPECIAL FLOOD HAZARD AREA (SFHA) - AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



**NOTE:**  
 CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY ON-SITE EXCAVATION. CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES, BOTH THOSE SHOWN AND NOT SHOWN ON THESE PLANS, PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON A COMBINATION OF FIELD SURVEY DATA, UTILITY OWNER RECORD DRAWINGS.

REVISIONS		
#	REVISION	DATE

DEVELOPER/OWNER:  
 ROBERT TATE  
 2824 W. 7TH  
 STREET/SUITE 100  
 FORT WORTH, TX 76107

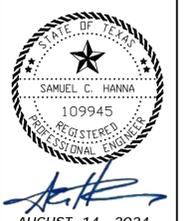
## PAVING PLAN

1.535 ACRES COMMERCIAL DEVELOPMENT OUT OF THE DAVIS ADDITION LOT 32R1, BLOCK 5 802 E. CRINER STREET CITY OF GRANDVIEW JOHNSON COUNTY, TEXAS

**HANNA SURVEYING & ENGINEERING LLC.**

HANNA SURVEYING AND ENGINEERING, L.L.C.  
 11729 E. FM 917  
 ALVARADO, TX 76009  
 (862) 553-9474

ENGINEERING FIRM NUMBER F-22119  
 SURVEYING FIRM NUMBER 10194633  
 SAM@HANNA-SE.COM



ISSUE DATE:	JUNE 14, 2024
PROJECT NO.:	23-788
SHEET NUMBER	C-5.0
10 OF 21	