

DEVELOPER/OWNER:
ROBERT TATE
2824 W. 7TH
STREET, SUITE 100
FORT WORTH, TX 76107

1.535 ACRES COMMERCIAL
DEVELOPMENT OUT OF THE
DAVIS ADDITION
LOT 32R1, BLOCK 5
802 E. CRINER STREET
CITY OF GRANDVIEW
JOHNSON COUNTY, TEXAS

* ENGINEERS OPINION OF ANTICIPATED EARTH WORK QUANTITIES *

THE QUANTITIES GIVEN BELOW ARE THE ENGINEERS OPINION OF ANTICIPATED EARTH WORK QUANTITIES. THE CONTRACTOR IS REQUIRED TO DO THEIR OWN EARTH WORK QUANTITY TAKE OFF PRIOR TO BIDDING THE PROJECT. THE ENGINEER ASSUMES NO LIABILITY FOR QUANTITY OVERRUNS OR UNDERRUNS. THESE QUANTITIES ARE FOR THE BENEFIT OF THE PROJECT OWNER.

CUT: 897.20 CY
FILL: 863.91 CY

NET: 33.29 CY CUT

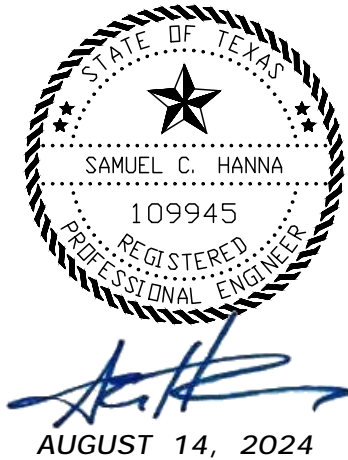
FLOOD PLAIN NOTE:
ACCORDING TO THE INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), COMMUNITY PANEL NO. 48251C0350J, REVISED DECEMBER 04, 2012, NONE OF THIS PROPERTY APPEARS TO LIE WITHIN THE "SPECIAL FLOOD HAZARD AREA (SFHA) — AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

NOTE:
CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY ON-SITE EXCAVATION.
CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF
ALL EXISTING UTILITIES, BOTH THOSE SHOWN AND NOT SHOWN ON
THESE PLANS, PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION
AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. EXISTING
UTILITIES SHOWN ON THESE PLANS ARE BASED ON A COMBINATION OF
FIELD SURVEY DATA, UTILITY OWNER RECORD DRAWINGS.

HSE HANNA
SURVEYING
& ENGINEERING LLC.

HANNA SURVEYING AND ENGINEERING, LLC.
11729 E. FM 917
ALVARADO, TX 76009

ENGINEERING FIRM NUMBER F-1019
SURVEYING FIRM NUMBER SAM-0001
SAM@HANNA-SE.COM



ISSUE DATE:	JUNE 14, 2024
PROJECT NO.:	23-788
SHEET NUMBER	

$C-4.0$
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