

REVISIONS		
#	REVISION	DATE

DEVELOPER/OWNER:
ROBERT TATE
2824 W. 7TH
STREET/SUITE 100
FORT WORTH, TX 76107

GRADING PLAN

1.535 ACRES COMMERCIAL
DEVELOPMENT OUT OF THE
DAVIS ADDITION
LOT 32R1, BLOCK 5
802 E. CRINER STREET
CITY OF GRANDVIEW
JOHNSON COUNTY, TEXAS

HANNA
SURVEYING & ENGINEERING LLC.
ENGINEERING FIRM NUMBER F-22119
SURVEYING FIRM NUMBER 10194633
SAM@HANNA-SE.COM

HANNA SURVEYING AND ENGINEERING, LLC.
11729 E. FM 917
ALVARADO, TX 76009
(862) 553-9474

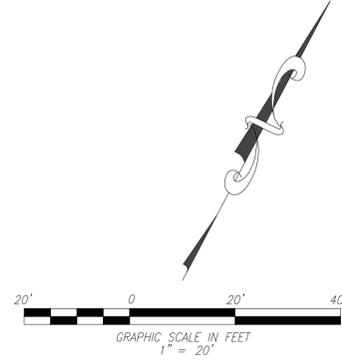
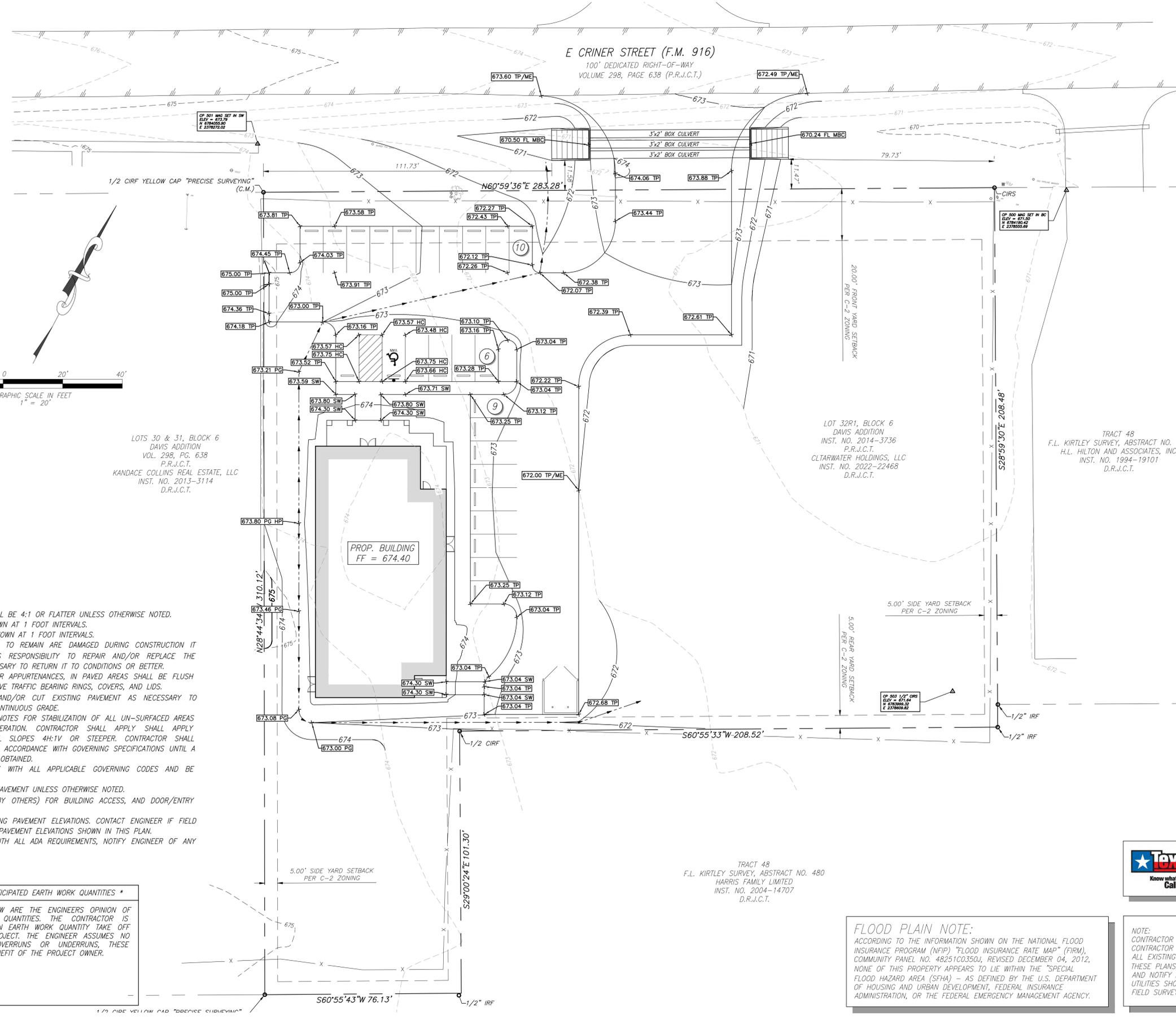


AUGUST 14, 2024
ISSUE DATE:
JUNE 14, 2024
PROJECT NO.:
23-788

SHEET NUMBER
C-4.0

9 OF 21

SITE LEGEND	
	PROPERTY LINE
	EASEMENT
	CURB AND GUTTER
	ASPHALT
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING GAS
	EXISTING FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE FLOW PATH
	TOP OF WALL
	BOTTOM OF WALL
	HIGH POINT
	TOP OF CONCRETE
	FINISHED FLOOR ELEVATION
	MATCH EXISTING
	SIDEWALK
	PROPOSED GRADE
	TOP OF STAIRS
	FLOW LINE
	TOP OF PAVEMENT
	HANDICAP
	MULTI-BARREL BOX CULVERTS



LOTS 30 & 31, BLOCK 6
DAVIS ADDITION
VOL. 298, PG. 638
P.R.J.C.T.
KANDACE COLLINS REAL ESTATE, LLC
INST. NO. 2013-3114
D.R.J.C.T.

LOT 32R1, BLOCK 6
DAVIS ADDITION
INST. NO. 2014-3736
P.R.J.C.T.
CLTARWATER HOLDINGS, LLC
INST. NO. 2022-22468
D.R.J.C.T.

TRACT 48
F.L. KIRTLEY SURVEY, ABSTRACT NO. 480
H.L. HILTON AND ASSOCIATES, INC
INST. NO. 1994-19101
D.R.J.C.T.

TRACT 48
F.L. KIRTLEY SURVEY, ABSTRACT NO. 480
HARRIS FAMILY LIMITED
INST. NO. 2004-14707
D.R.J.C.T.

- GRADING NOTES:**
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - EXISTING GRADE CONTOUR SHOWN AT 1 FOOT INTERVALS.
 - PROPOSED GRADE CONTOUR SHOWN AT 1 FOOT INTERVALS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO CONDITIONS OR BETTER.
 - ALL PIPES, FLUMES AND OTHER APPURTENANCES, IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS, COVERS, AND LIDS.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - REFER TO EROSION CONTROL NOTES FOR STABILIZATION OF ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND VEGETATION IS OBTAINED.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - REFERENCE BUILDING PLAN (BY OTHERS) FOR BUILDING ACCESS, AND DOOR/ENTRY GRADES.
 - CONTRACTOR TO VERIFY EXISTING PAVEMENT ELEVATIONS. CONTACT ENGINEER IF FIELD CONDITIONS DIFFER FROM THE PAVEMENT ELEVATIONS SHOWN IN THIS PLAN.
 - CONTRACTOR MUST COMPLY WITH ALL ADA REQUIREMENTS, NOTIFY ENGINEER OF ANY DISCREPANCY.

* ENGINEERS OPINION OF ANTICIPATED EARTH WORK QUANTITIES *

THE QUANTITIES GIVEN BELOW ARE THE ENGINEERS OPINION OF ANTICIPATED EARTH WORK QUANTITIES. THE CONTRACTOR IS REQUIRED TO DO THEIR OWN EARTH WORK QUANTITY TAKE OFF PRIOR TO BIDDING THE PROJECT. THE ENGINEER ASSUMES NO LIABILITY FOR QUANTITY OVERRUNS OR UNDERRUNS, THESE QUANTITIES ARE FOR THE BENEFIT OF THE PROJECT OWNER.

CUT: 897.20 CY
FILL: 863.91 CY
NET: 33.29 CY CUT

FLOOD PLAIN NOTE:
ACCORDING TO THE INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), COMMUNITY PANEL NO. 48251C0350J, REVISED DECEMBER 04, 2012, NONE OF THIS PROPERTY APPEARS TO LIE WITHIN THE "SPECIAL FLOOD HAZARD AREA (SFHA) - AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



NOTE:
CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY ON-SITE EXCAVATION. CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES, BOTH THOSE SHOWN AND NOT SHOWN ON THESE PLANS, PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON A COMBINATION OF FIELD SURVEY DATA, UTILITY OWNER RECORD DRAWINGS.