

REVISIONS		
#	REVISION	DATE

DEVELOPER/OWNER:
ROBERT TATE
2824 W. 7TH
STREET/SUITE 100
FORT WORTH, TX 76107

EROSION CONTROL PLAN

1.535 ACRES COMMERCIAL
DEVELOPMENT OUT OF THE
DAVIS ADDITION
LOT 32R1, BLOCK 5
802 E. CRINER STREET
CITY OF GRANDVIEW
JOHNSON COUNTY, TEXAS

HSE HANNA
SURVEYING
& ENGINEERING LLC.
ENGINEERING FIRM NUMBER F-22119
SURVEYING FIRM NUMBER 10194633
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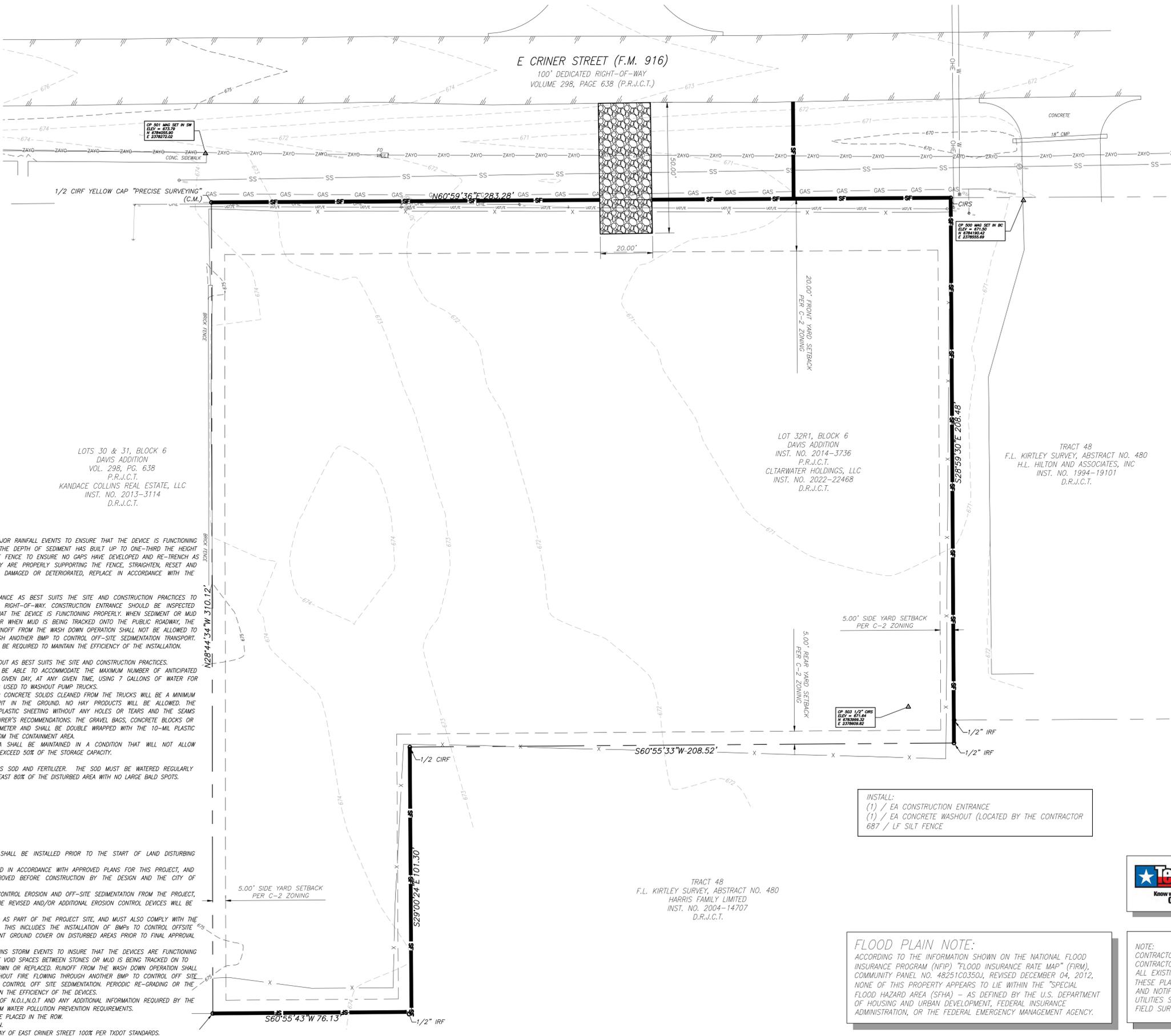
HANNA SURVEYING AND ENGINEERING, L.L.C.
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ALVARADO, TX 76009
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AUGUST 14, 2024
ISSUE DATE:
JUNE 14, 2024
PROJECT NO.:
23-788
SHEET NUMBER
C-7.0
16 OF 21

SITE LEGEND

- PROPERTY LINE
- EASEMENT
- CURB AND GUTTER
- ASPHALT
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING GAS
- EXISTING STORM SEWER
- EXISTING CONTOUR
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION ENTRANCE



MAINTENANCE SCHEDULE:

SILT FENCE
SILT FENCE SHOULD BE INSPECTED WEEKLY AND AFTER MAJOR RAINFALL EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. REMOVE SEDIMENT FROM BEHIND FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. INSPECT THE BASE OF THE FENCE TO ENSURE NO GAPS HAVE DEVELOPED AND RE-TRENCH AS NECESSARY. INSPECT FENCE POSTS TO ENSURE THAT THEY ARE PROPERLY SUPPORTING THE FENCE, STRAIGHTEN, RESET AND ADD POSTS IF NECESSARY. IF FILTER FABRIC IS RIPPED, DAMAGED OR DETERIORATED, REPLACE IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS AND DETAILS.

CONSTRUCTION ENTRANCE
CONTRACTOR MAY FIELD LOCATE THE CONSTRUCTION ENTRANCE AS BEST SUITS THE SITE AND CONSTRUCTION PRACTICES TO PREVENT DIRT AND DEBRIS FROM ENTERING THE PUBLIC RIGHT-OF-WAY. CONSTRUCTION ENTRANCE SHOULD BE INSPECTED WEEKLY AND AFTER MAJOR RAINFALL EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE STONES OR WHEN MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF-SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF-SITE SEDIMENTATION TRANSPORT. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.

CONCRETE WASHOUT
CONTRACTOR MAY FIELD LOCATE THE CONCRETE TRUCK WASHOUT AS BEST SUITS THE SITE AND CONSTRUCTION PRACTICES.

- WASHOUT SHALL BE CONSTRUCTED SO THAT IT WILL BE ABLE TO ACCOMMODATE THE MAXIMUM NUMBER OF ANTICIPATED CONCRETE TRUCKS THAT WILL BE CLEANED ON ANY GIVEN DAY, AT ANY GIVEN TIME, USING 7 GALLONS OF WATER FOR WASHOUT PER TRUCK OR 50 GALLONS OF WATER BEING USED TO WASHOUT PUMP TRUCKS.
- THE AREA UTILIZED TO CONTAIN THE WASH WATER AND CONCRETE SOLIDS CLEANED FROM THE TRUCKS WILL BE A MINIMUM OF 10-FOOT IN WIDTH AND CONSTRUCTED AS A PIT IN THE GROUND. NO HAY PRODUCTS WILL BE ALLOWED. THE CONTAINMENT AREA WILL BE COVERED WITH 10-MIL PLASTIC SHEETING WITHOUT ANY HOLES OR TEARS AND THE SEAMS SHALL BE SEALED IN ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATIONS. THE GRAVEL BAGS, CONCRETE BLOCKS OR OPEN GRADED ROCKS SHALL LINE THE OUTSIDE PERIMETER AND SHALL BE DOUBLE WRAPPED WITH THE 10-MIL PLASTIC SHEETING TO PREVENT ANY POTENTIAL FOR RUNOFF FROM THE CONTAINMENT AREA.
- THE CONCRETE TRUCK WASHOUT CONTAINMENT AREA SHALL BE MAINTAINED IN A CONDITION THAT WILL NOT ALLOW CONCRETE BUILDUP WITHIN THE CONTAINMENT AREA TO EXCEED 50% OF THE STORAGE CAPACITY.

GROUND STABILIZATION PLAN
ALL DISTURBED AREA SHALL BE SOLID SODDED WITH GRASS SOD AND FERTILIZER. THE SOD MUST BE WATERED REGULARLY UNTIL A HEAVY STAND OF GRASS IS ESTABLISHED OVER AT LEAST 80% OF THE DISTURBED AREA WITH NO LARGE BALD SPOTS.

SUGGESTED CONSTRUCTION SEQUENCE
PHASE 1 - GRADING
PHASE 2 - UTILITY CONSTRUCTION
PHASE 3 - PAVING
PHASE 4 - LANDSCAPE / SOIL STABILIZATION

GENERAL NOTES:

- EROSION CONTROL DEVICES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT INSTALLATION.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH APPROVED PLANS FOR THIS PROJECT, AND NCTCOG SPECIFICATIONS. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN AND THE CITY OF GRANDVIEW.
- IF THE EROSION CONTROL PLAN APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
- OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED AS PART OF THE PROJECT SITE, AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMPs TO CONTROL OFFSITE SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT.
- INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAINS STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ON TO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE. WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE DEVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I.,N.O.T AND ANY ADDITIONAL INFORMATION REQUIRED BY THE TCEQ. CONTRACTOR SHALL COMPLY WITH ALL TCEQ STORM WATER POLLUTION PREVENTION REQUIREMENTS.
- STEEL POSTS FOR SILT FENCE ARE NOT ALLOWED TO BE PLACED IN THE ROW.
- ALL LANDSCAPE DRAINS SHALL HAVE INLET PROTECTION.
- RE-VEGETATE DISTURBED AREA WITHIN THE RIGHT OF WAY OF EAST CRINER STREET 100% PER TxDOT STANDARDS.

INSTALL:
(1) / EA CONSTRUCTION ENTRANCE
(1) / EA CONCRETE WASHOUT (LOCATED BY THE CONTRACTOR)
687 / LF SILT FENCE

FLOOD PLAIN NOTE:
ACCORDING TO THE INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), COMMUNITY PANEL NO. 48251C0350J, REVISED DECEMBER 04, 2012, NONE OF THIS PROPERTY APPEARS TO LIE WITHIN THE "SPECIAL FLOOD HAZARD AREA (SFHA) - AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



NOTE:
CONTRACTOR TO CALL TEXAS 811 PRIOR TO ANY ON-SITE EXCAVATION. CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES, BOTH THOSE SHOWN AND NOT SHOWN ON THESE PLANS, PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON A COMBINATION OF FIELD SURVEY DATA, UTILITY OWNER RECORD DRAWINGS.