

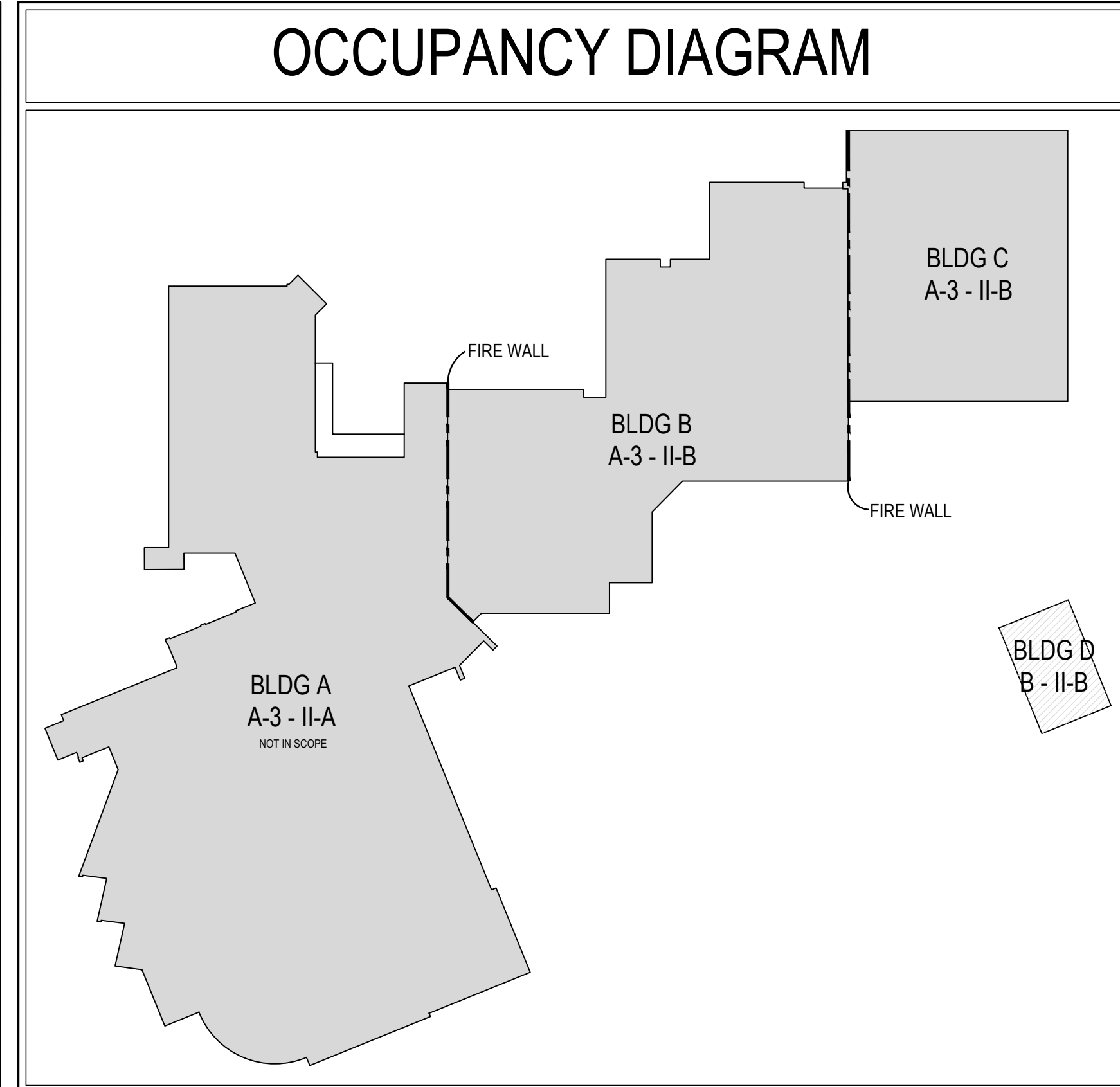


### LIFE SAFETY SYMBOL LEGEND

● FE	FIRE EXTINGUISHER ON WALL BRACKET
☒ FEC	FIRE EXTINGUISHER CABINET AND EXTINGUISHER (AS REQUIRED PER NFPA 10)
X →	TRAVEL DISTANCE TO EXIT
FACP	FIRE ALARM CONTROL PANEL (VERIFY LOCATION WITH LOCAL FIRE DEPT.)
⊙	EXIT SIGN
OCCUPANT LOAD	
TOTAL	SQ. FT.
SQ. FT.	PER OCC.
OCCUPANT LOAD ALLOWANCE DATA	

### OCCUPANCY TABULATION

ROOM NAME	ROOM AREA	AREA PER OCCUPANT	OCCUPANT LOAD
<b>BLDG A - NO SCOPE</b>			
58,311 S.F.			
<b>BLDG B</b>			
26,305 S.F.			
CHAPEL/MULTI-LINGUAL (101)	2,761	15	185
ADULT CLASSROOM	3,332	15	223
CHILDREN CLASSROOM	1,527	15	102
OFFICE	1,919	150	13
STORAGE	799	300	3
JOY/MULTI-ABILITY (116)	1,154	15	77
ELECTRICAL	204	300	1
KITCHEN	567	200	3
PANTRY	122	300	1
JANITOR	223	300	1
EDUCATION/WORK ROOM (218)	600	15	40
FELLOWSHIP HALL (500)	2,072	15	139
NURSERY	353	15	24
TODDLER	610	15	41
OCCUPANT LOAD			853
TOTAL REQUIRED EXIT WIDTH AT .20"x OCC			170.6"
TOTAL PROVIDED EXIT WIDTH			324"
<b>BLDG C</b>			
16,480 S.F.			
CHILDREN'S WORSHIP	2,717	15	182
CHILDREN'S CLASSROOM	7,965	15	531
OFFICE	363	150	3
STORAGE	121	300	1
OCCUPANT LOAD			717
TOTAL REQUIRED EXIT WIDTH AT .20"x OCC			143.4"
TOTAL PROVIDED EXIT WIDTH			216"
<b>BLDG D</b>			
2,290 S.F.			
MISSION	847	15	57
CONFERENCE ROOM	214	15	15
OFFICE	693	150	5
STORAGE	64	300	1
OCCUPANT LOAD			78
TOTAL REQUIRED EXIT WIDTH AT .20"x OCC			15.6"
TOTAL PROVIDED EXIT WIDTH			108"
<b>EXIT DOOR WIDTHS &amp; CAPACITY BEFORE RENO   AFTER RENO</b>			
DOOR WIDTH (MIN. REQ'D 32.6")	720"	648"	
DOOR CAPACITY	5,280 PERSONS	4,320 PERSONS	

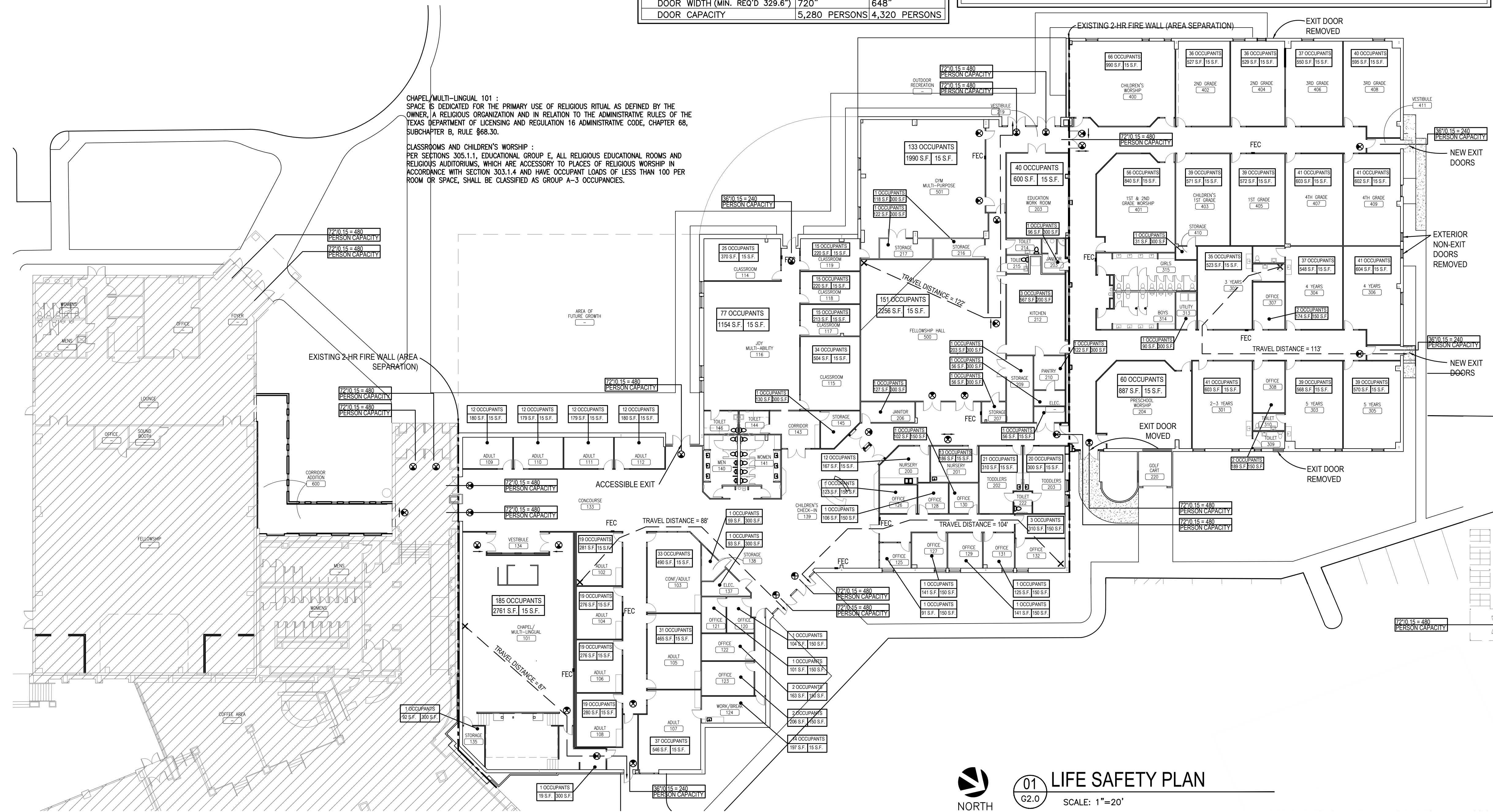


### BUILDING INFORMATION

LOCATION:	1870 RUFÉ SNOW DR. KELLER, TEXAS 76248 TARRANT COUNTY
LOT AREA:	920,033 SQ. FT. - 21.121 ACRES
PROJECT INFORMATION	
DESCRIPTION:	RENOVATIONS TO A WORSHIP FACILITY WITH CLASSROOMS
BUILDING SUMMARY	
USE AND OCCUPANCY	
BUILDING A, B, & C:	ASSEMBLY GROUP A-3
BUILDING D:	ASSEMBLY GROUP B
CONSTRUCTION TYPE	
BUILDING A:	II-A
BUILDING B, C, & D:	II-B
BUILDING AREA	
BLDG-A EXISTING GROSS FLOOR AREA (PRE-RENOVATION)	58,311 S.F.
CORRIDOR ADDITION GROSS FLOOR AREA	1,074 S.F.
BLDG-A TOTAL GROSS FLOOR AREA (POST-RENOVATION)	59,385 S.F.
BLDG-B TOTAL GROSS FLOOR AREA	28,198 S.F.
BLDG-C TOTAL GROSS FLOOR AREA	16,480 S.F.
BLDG-D TOTAL GROSS FLOOR AREA	2,290 S.F.
TOTAL GROSS FLOOR AREA (POST-RENOVATION)	106,353 S.F.
APPLICABLE CODES	
2021 INTERNATIONAL MECHANICAL CODE	
2020 NATIONAL ELECTRICAL CODE	
2021 INTERNATIONAL PLUMBING CODE	
2021 INTERNATIONAL BUILDING CODE	
2021 INTERNATIONAL ENERGY CONSERVATION CODE	
2021 INTERNATIONAL FIRE CODE	
2021 INTERNATIONAL FUEL GAS CODE	
2012 TEXAS ACCESSIBILITY STANDARD	

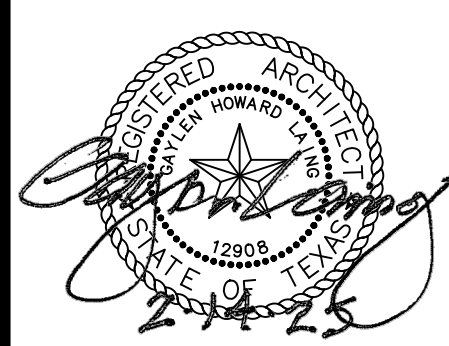
### BUILDING DESIGN CRITERIA

OCCUPANCY CLASSIFICATION:	A3
OCCUPANCIES CONTAINED WITHIN BUILDING:	A3: SANCTUARY, LOBBY, CLASSROOMS WITHIN PLACES OF WORSHIP B: OFFICE SPACES, NOT SPRINKLED
THE FACILITY SHALL BE FULLY SPRINKLED IN ACCORDANCE WITH A NFPA 13	
THE FACILITY SHALL BE EQUIPPED WITH A FIRE ALARM AND FIRE DETECTION SYSTEM	
BUILDING HEIGHT:	85' ALLOWABLE PER TABLE 504.3
FIRE RESISTANCE RATINGS:	
PER TABLE 601 (II-B)	
STRUCTURAL FRAME:	0 HOUR
STRUCTURAL STEEL:	0 HOUR
BEARING WALLS - EXTERIOR:	0 HOUR
NON-BEARING WALLS - EXTERIOR:	0 HOUR
BEARING WALLS - INTERIOR:	0 HOUR
NON-BEARING WALLS - INTERIOR:	0 HOUR
CORRIDOR WALLS:	0 HOUR
FLOOR CONSTRUCTION:	0 HOUR
ROOF/CEILING:	0 HOUR
TRAVEL DISTANCE PER TABLE 1017.2	
GROUP A:	250 FT. ALLOWED
GROUP B:	300 FT. ALLOWED

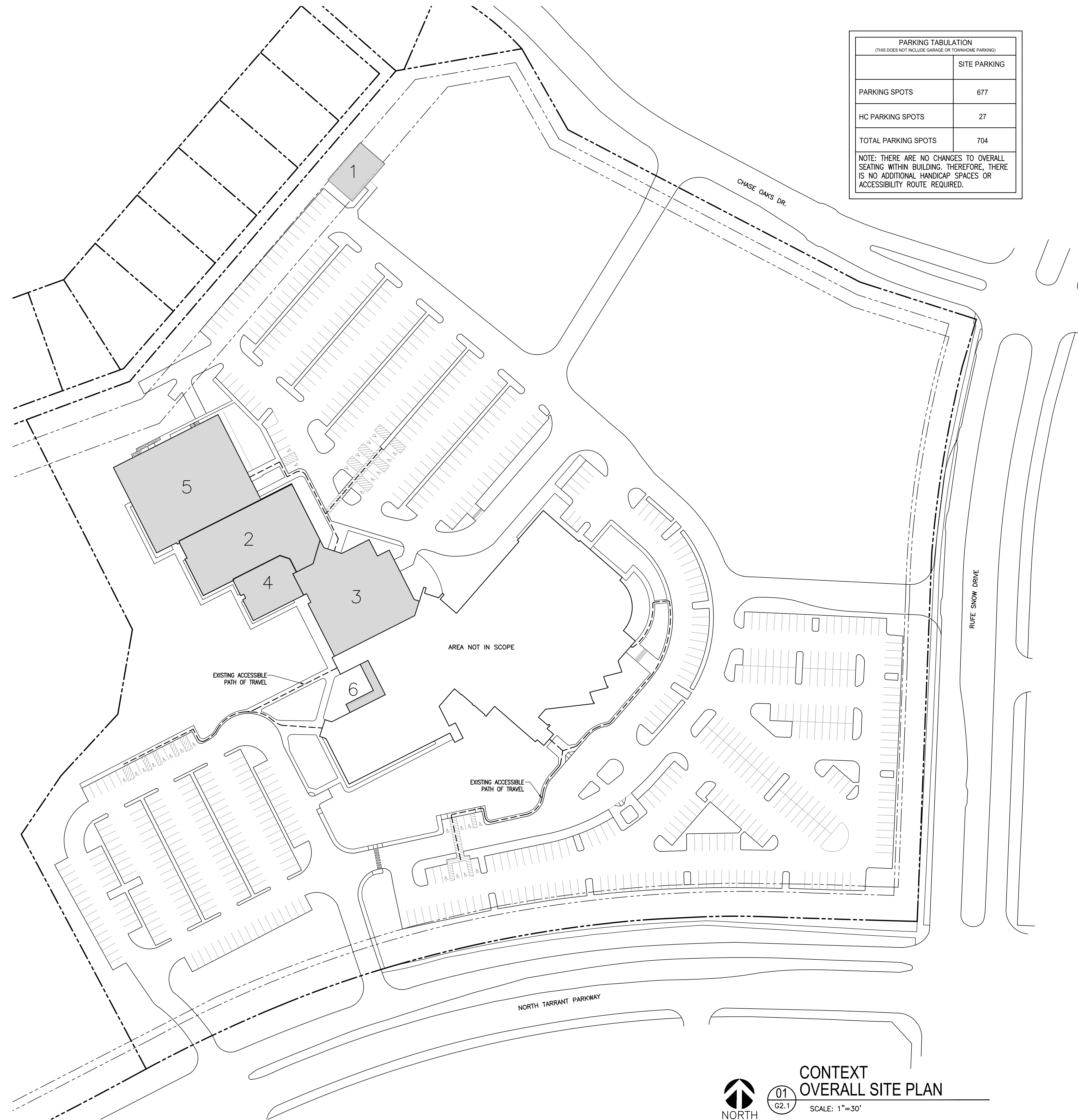


CHAPEL/MULTI-LINGUAL 101 :  
SPACE IS DEDICATED FOR THE PRIMARY USE OF RELIGIOUS RITUAL AS DEFINED BY THE OWNER, A RELIGIOUS ORGANIZATION AND IN RELATION TO THE ADMINISTRATIVE RULES OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION 16 ADMINISTRATIVE CODE, CHAPTER 68, SUBCHAPTER B, RULE §68.30.

CLASSROOMS AND CHILDREN'S WORSHIP :  
PER SECTIONS 305.1.1, EDUCATIONAL GROUP E, ALL RELIGIOUS EDUCATIONAL ROOMS AND RELIGIOUS AUDITORIUMS, WHICH ARE ACCESSORY TO PLACES OF RELIGIOUS WORSHIP IN ACCORDANCE WITH SECTION 303.1.4 AND HAVE OCCUPANT LOADS OF LESS THAN 100 PER ROOM OR SPACE, SHALL BE CLASSIFIED AS GROUP A-3 OCCUPANCIES.



DATE: 08/14/24  
ISSUE:  
REVISION:  
SHEET TITLE:  
DESIGN CRITERIA  
LIFE SAFETY PLAN

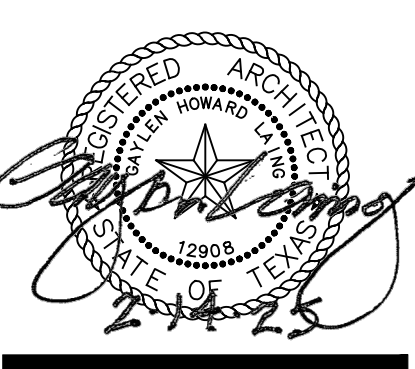


PARKING TABULATION (THIS DOES NOT INCLUDE GARAGE OR TOWNHOME PARKING)	
SITE PARKING	
PARKING SPOTS	677
HC PARKING SPOTS	27
TOTAL PARKING SPOTS	704

NOTE: THERE ARE NO CHANGES TO OVERALL SEATING WITHIN BUILDING. THEREFORE, THERE IS NO ADDITIONAL HANDICAP SPACES OR ACCESSIBILITY ROUTE REQUIRED.



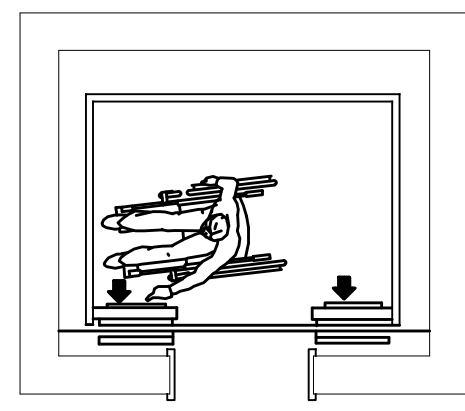
CONTEXT  
OVERALL SITE PLAN  
SCALE: 1"=30'



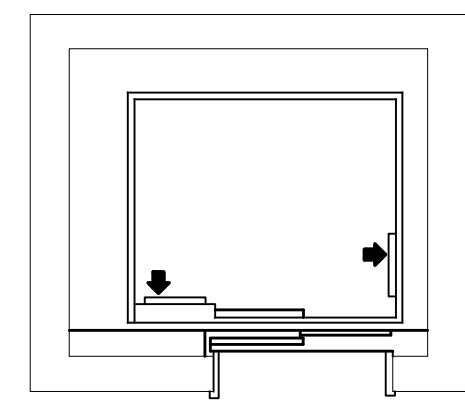
DATE: 08/14/24  
ISSUE:  
REVISION:  
SHEET TITLE:

OVERALL  
SITE PLAN

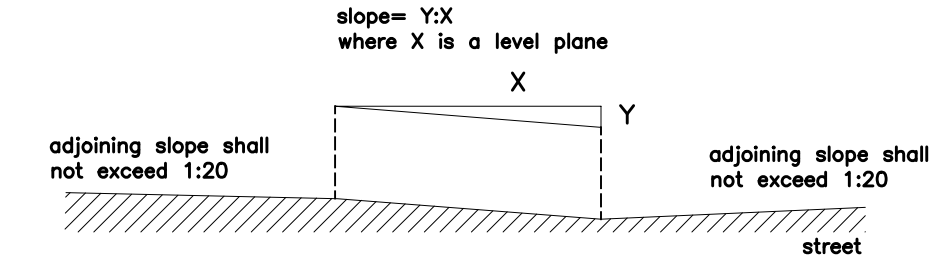
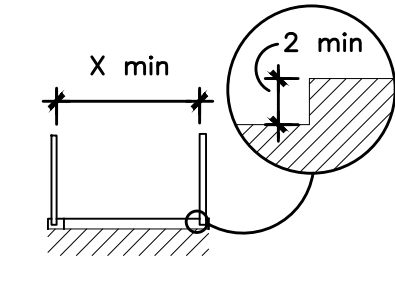
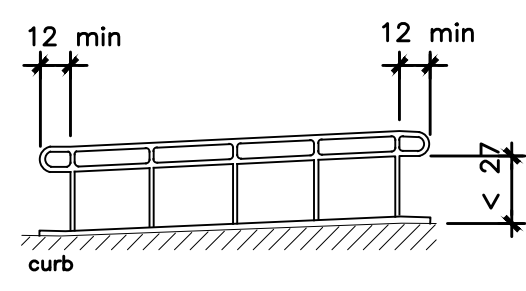
1300 WEST RANDOL MILL ROAD, ARLINGTON, TEXAS 76012  
817.801.7200  
www.ghila-inc.com



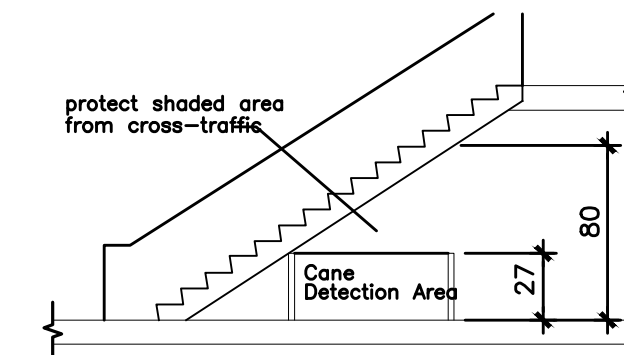
Alternate Locations of Panels with Center Opening Door



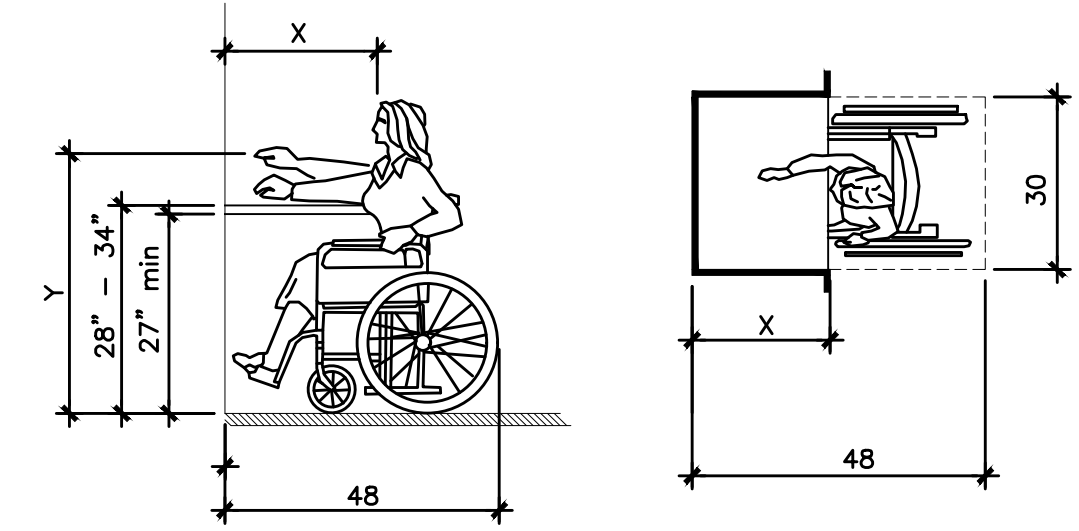
Alternate Locations of Panels with Side Opening Door



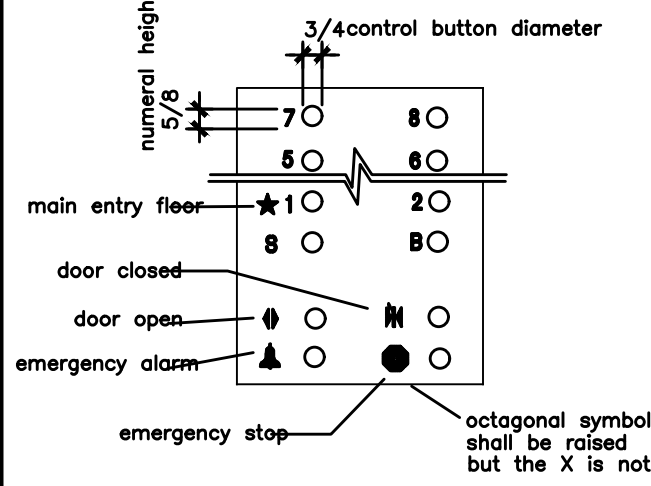
Measurement of Curb Ramp Slopes



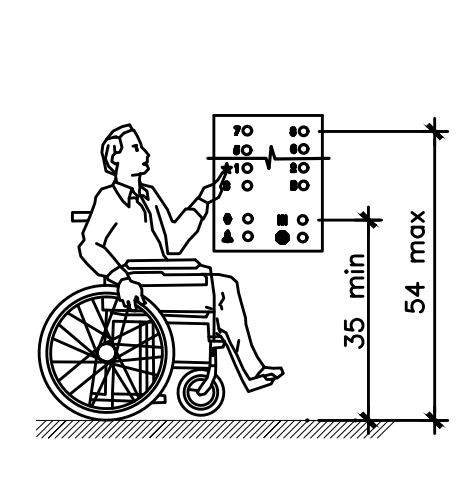
Overhead Hazards



NOTE: X shall be 25 in. When X is 20 in., then Y shall be 48 in. maximum. When X is 20 to 25 in., then Y shall be 44 in. maximum.

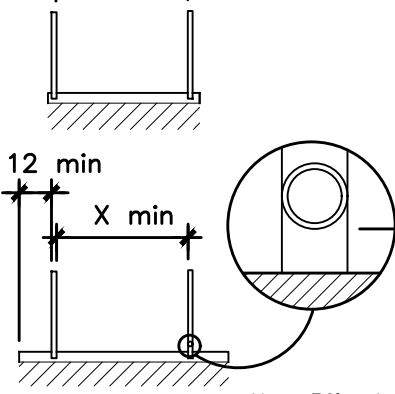
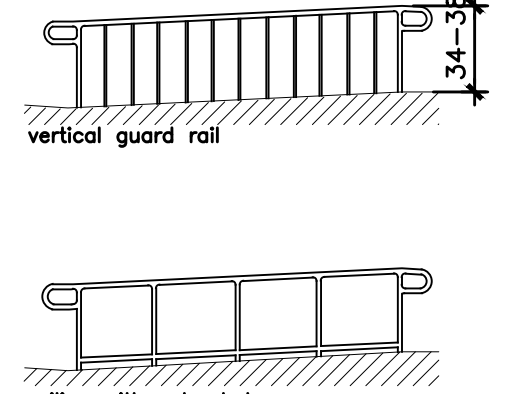


Panel Detail



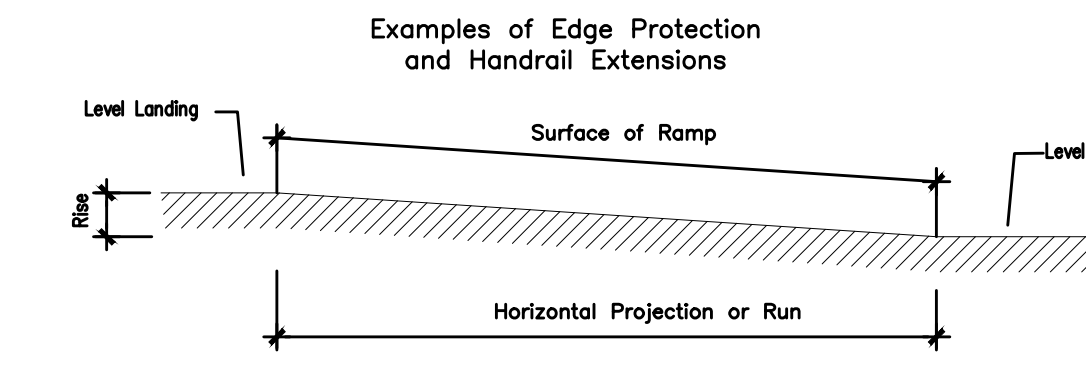
Car Controls

Car Control Height



railing with extended platform or bottom rail < 4" above paving

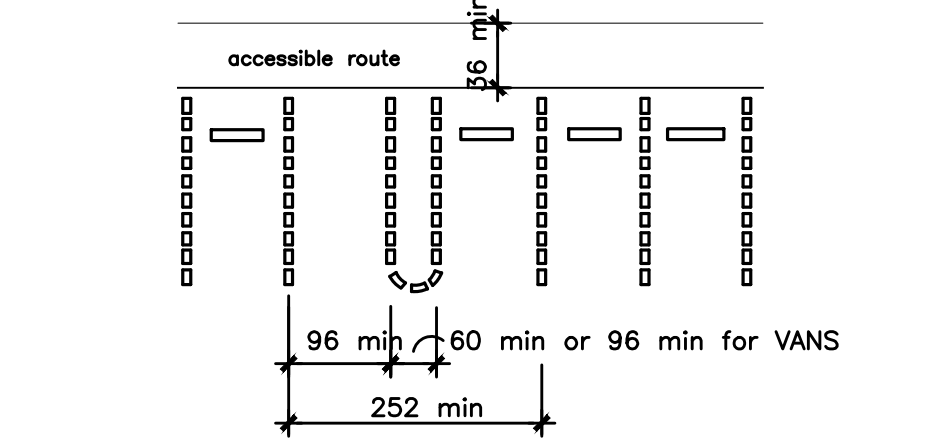
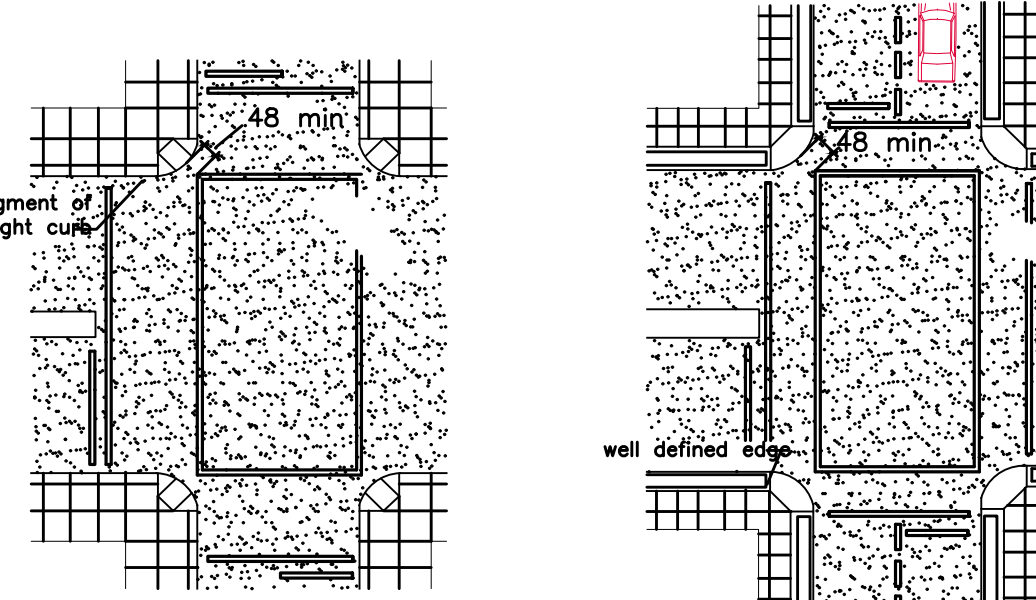
X = 36" min if ramp is less than 30' in length



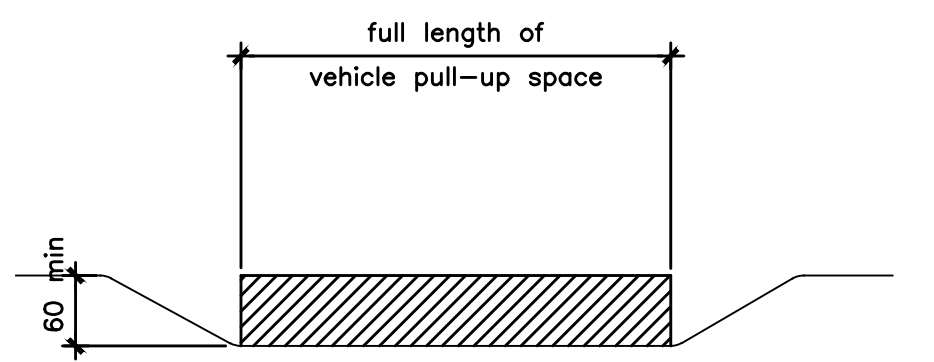
Examples of Edge Protection and Handrail Extensions

Slope	Maximum Rise		Maximum Horizontal Projection	
	in	mm	ft	m
1:12 to < 1:16	30	760	30	9
1:16 to < 1:20	30	760	40	12

Components of a Single Ramp Run and Sample Ramp Dimensions

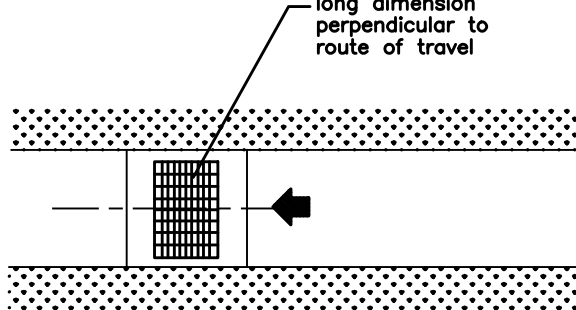


Passenger Loading Zone Access Aisle

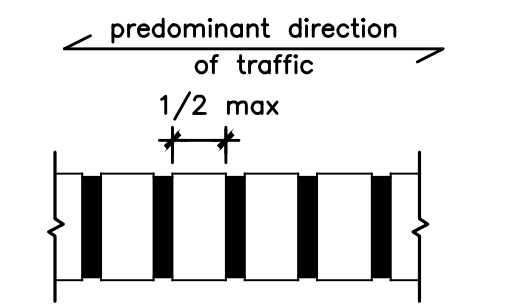


full length of vehicle pull-up space

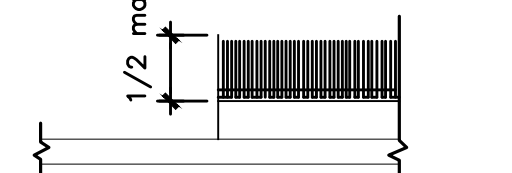
Dimensions of Parking Spaces



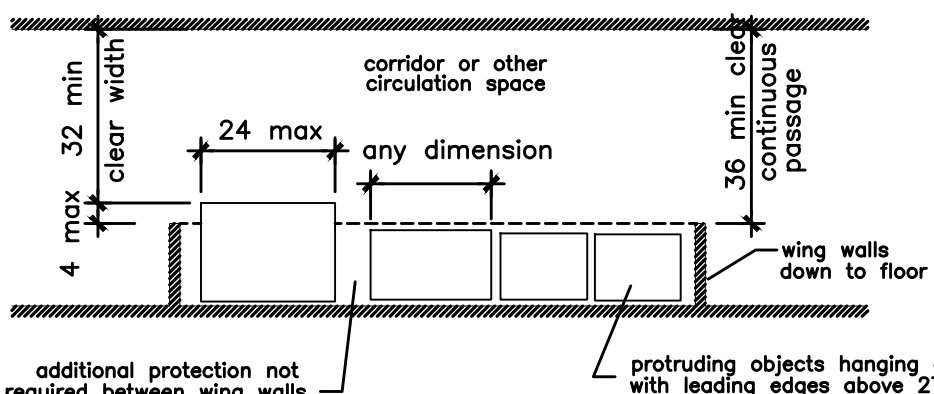
Grating Orientation



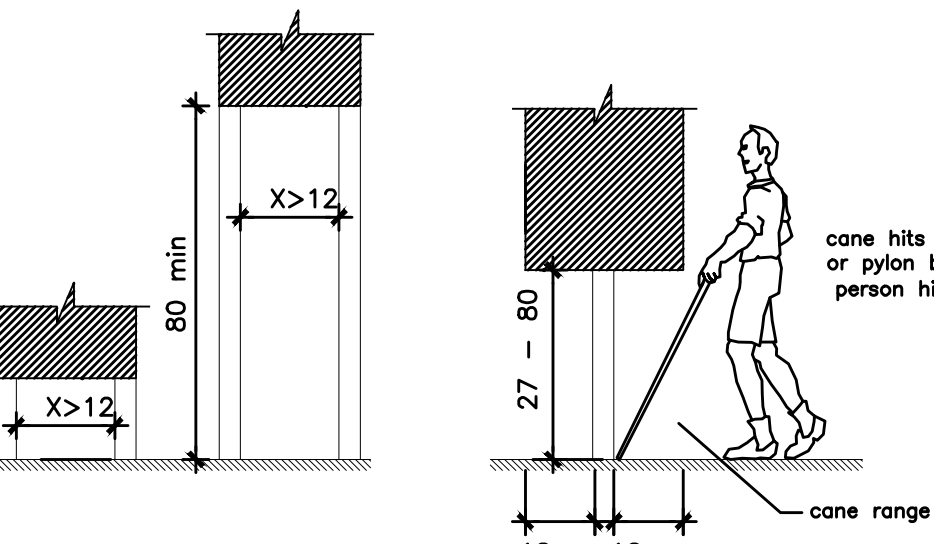
Gratings



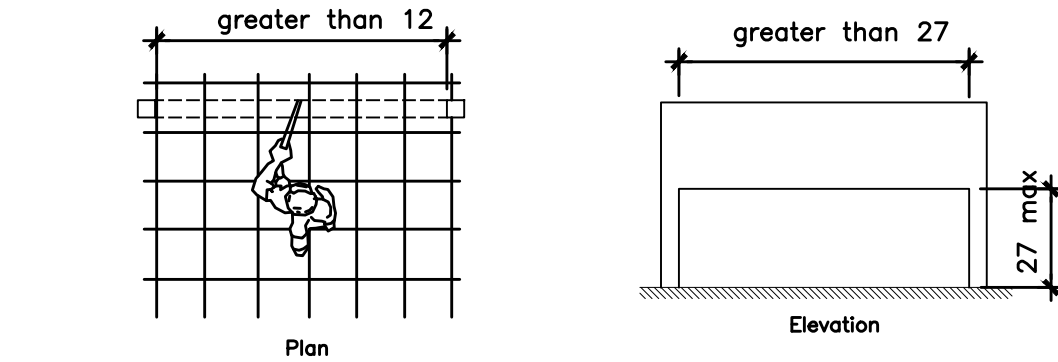
Carpet Pile Thickness



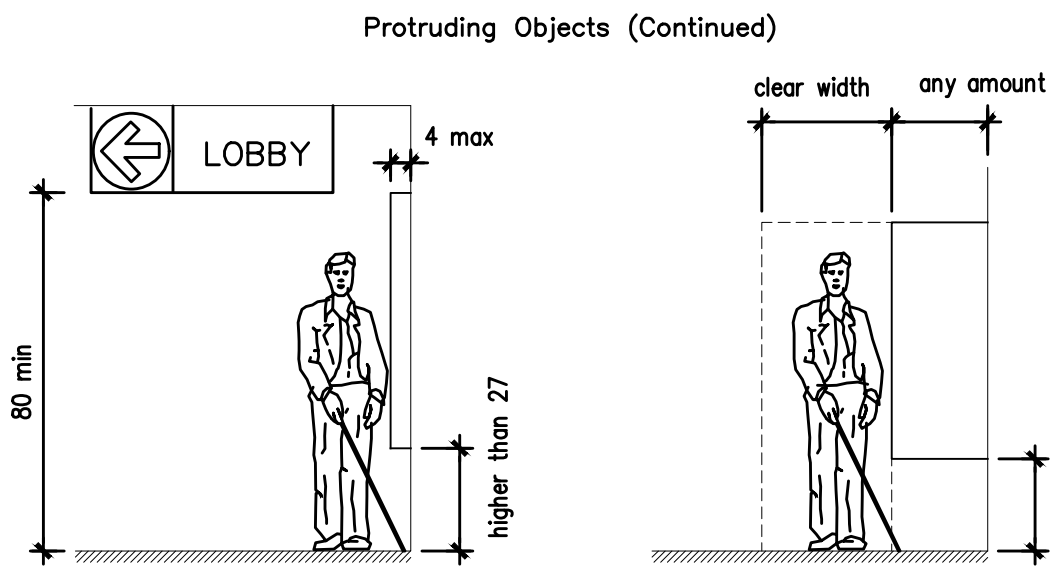
Example of Protection around Wall Mounted Objects and Measurements of Clear Widths



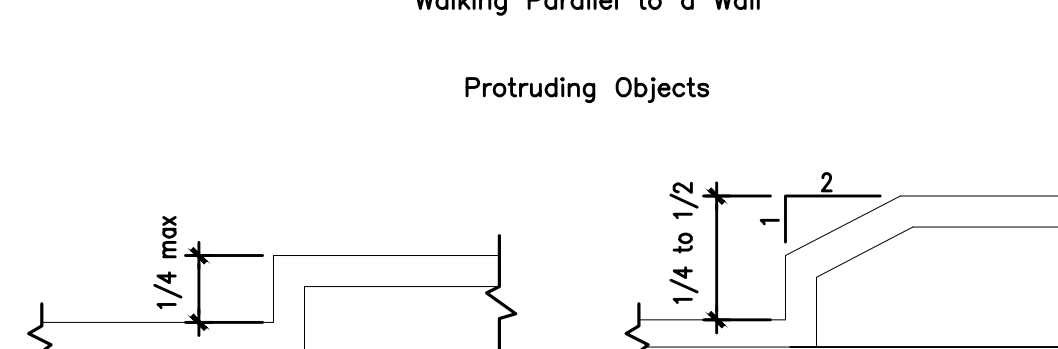
Objects Mounted on Posts and Pylons



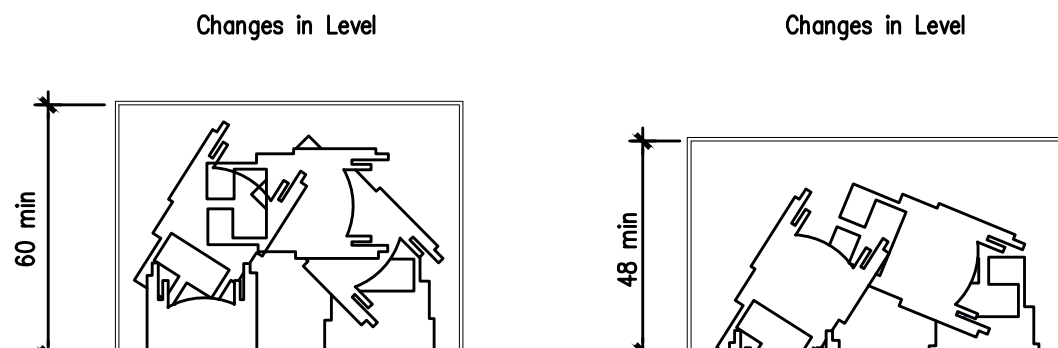
Free-Standing Overhanging Objects



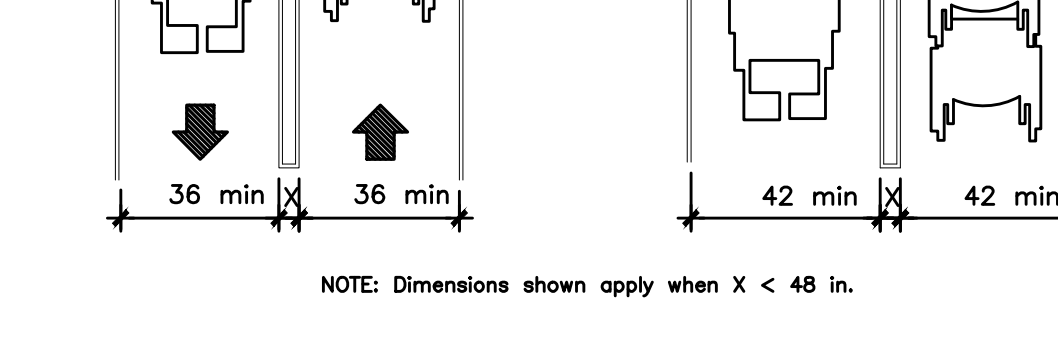
Protruding Objects (Continued)



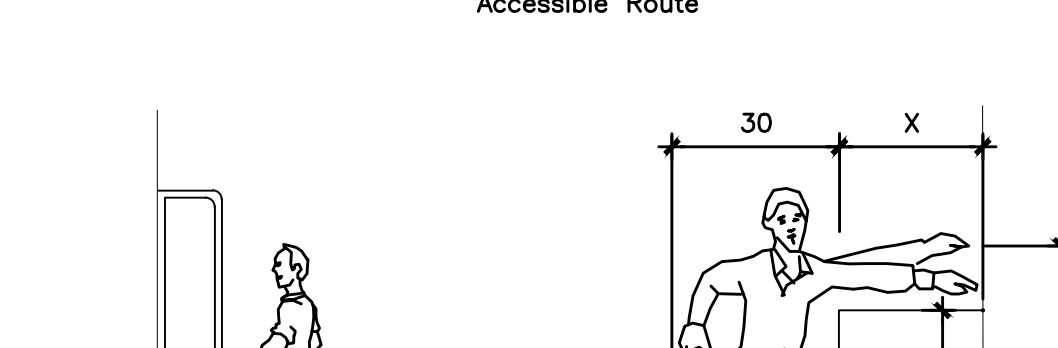
Walking Parallel to a Wall



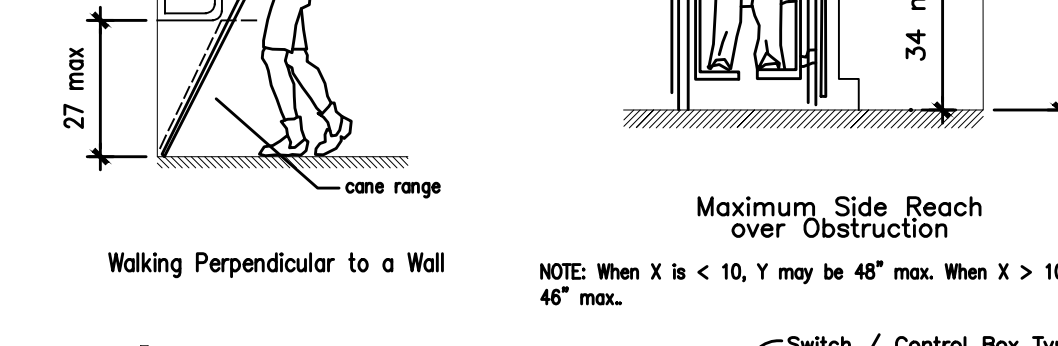
Changes in Level



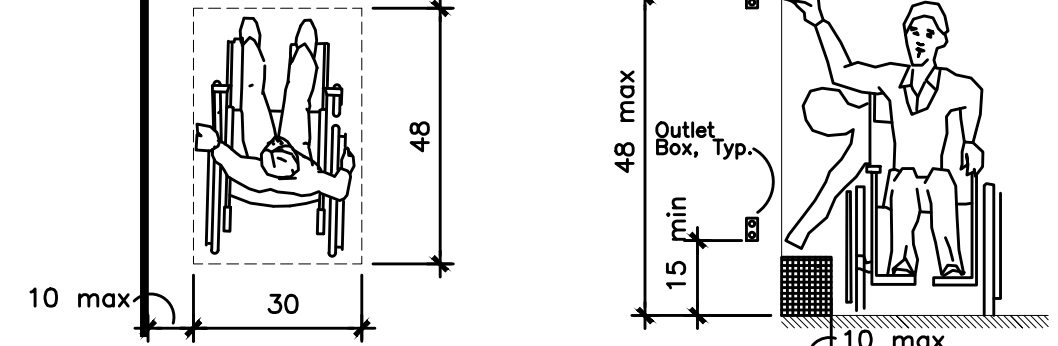
90-Degree Turn



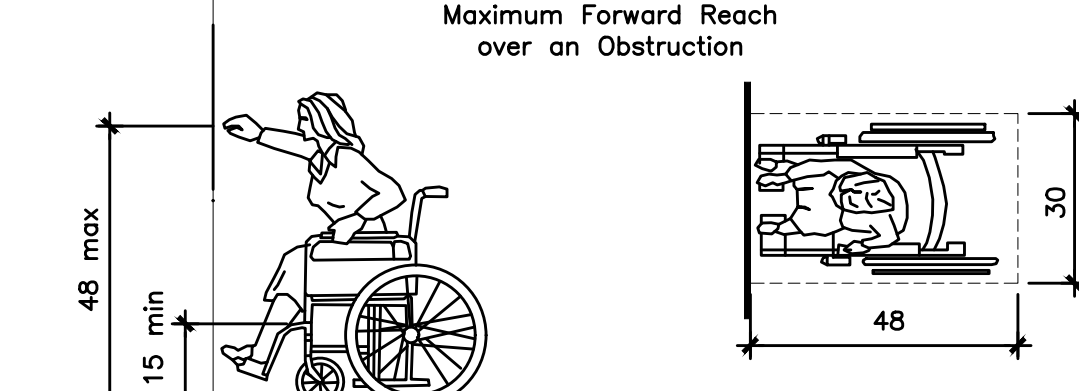
Turn around an Obstruction



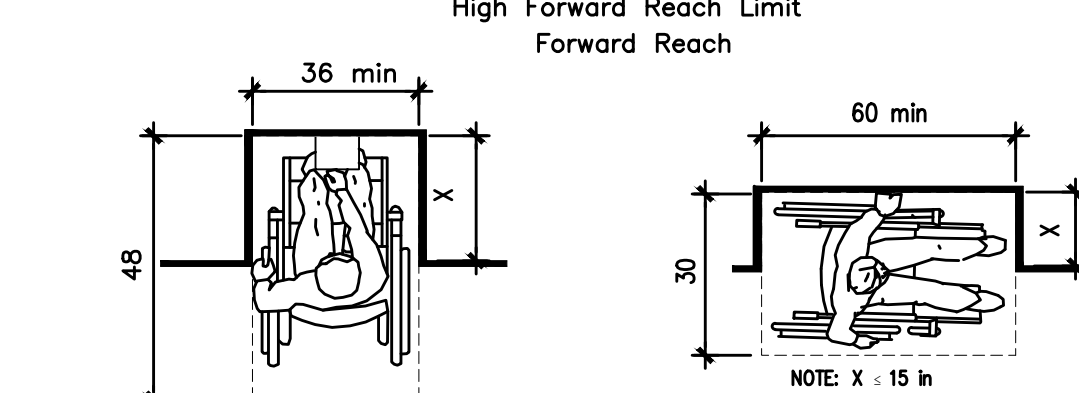
Accessible Route



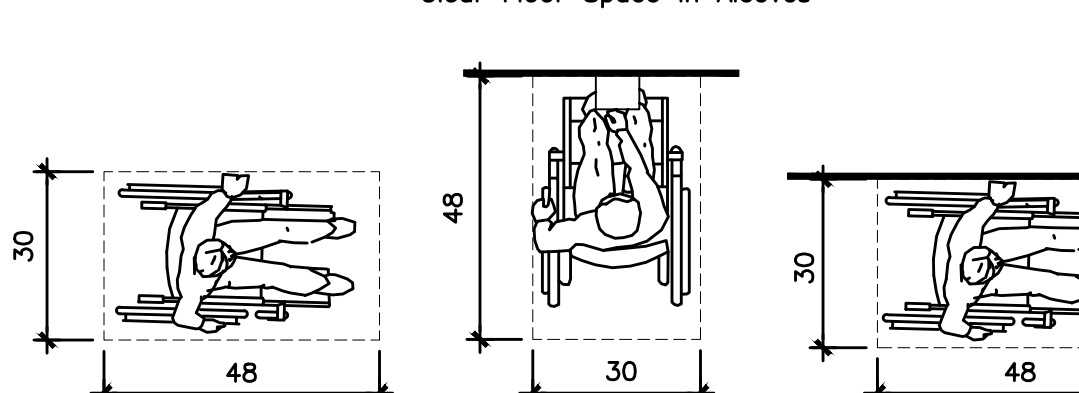
Side Reach



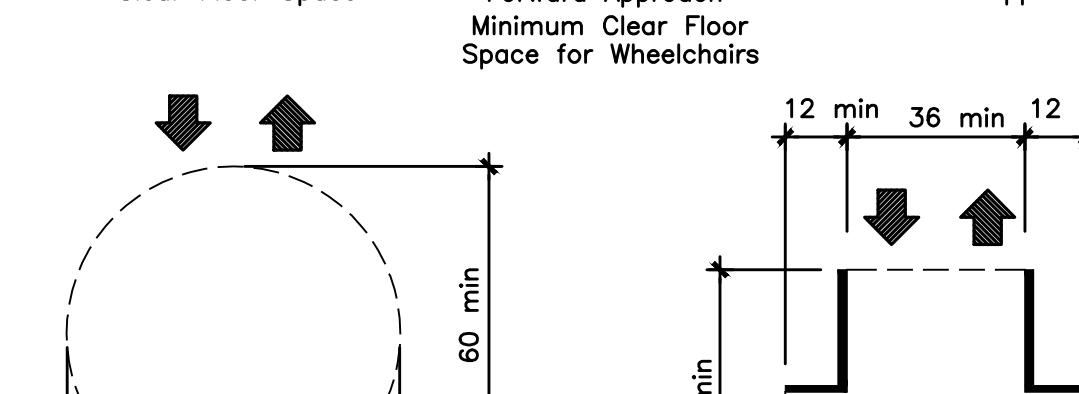
Maximum Forward Reach over an Obstruction



High Forward Reach Limit

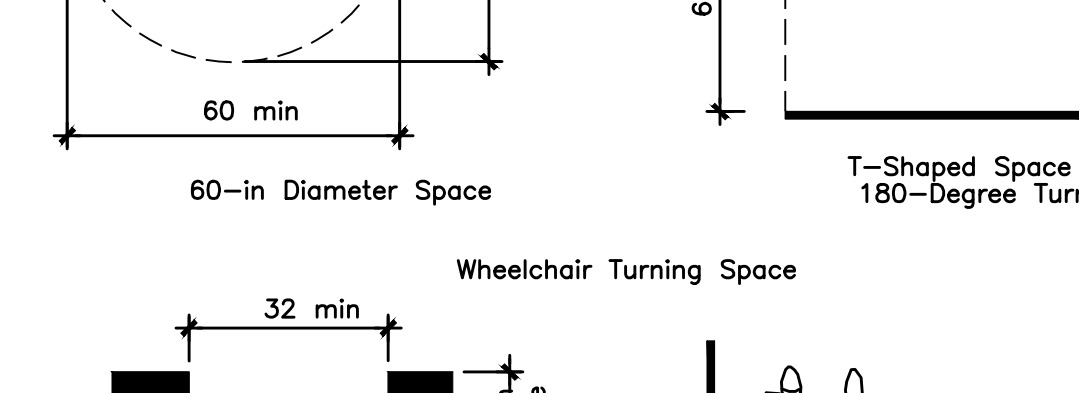


Clear Floor Space in Alcoves



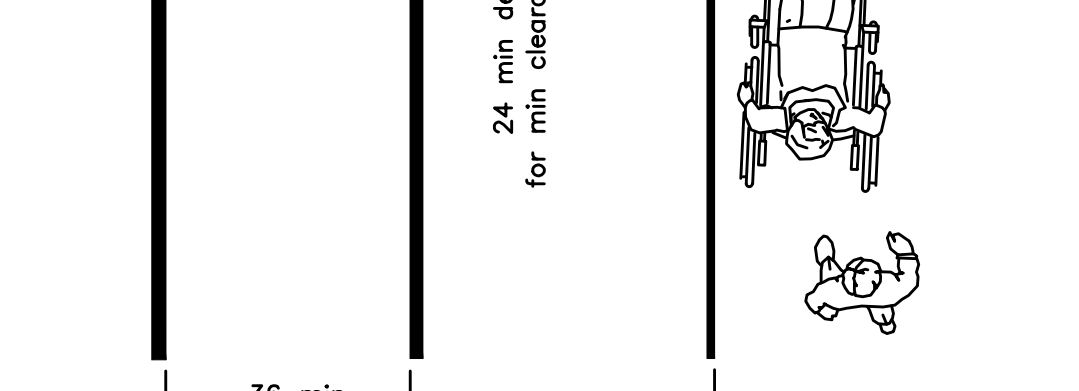
Forward Approach

Parallel Approach

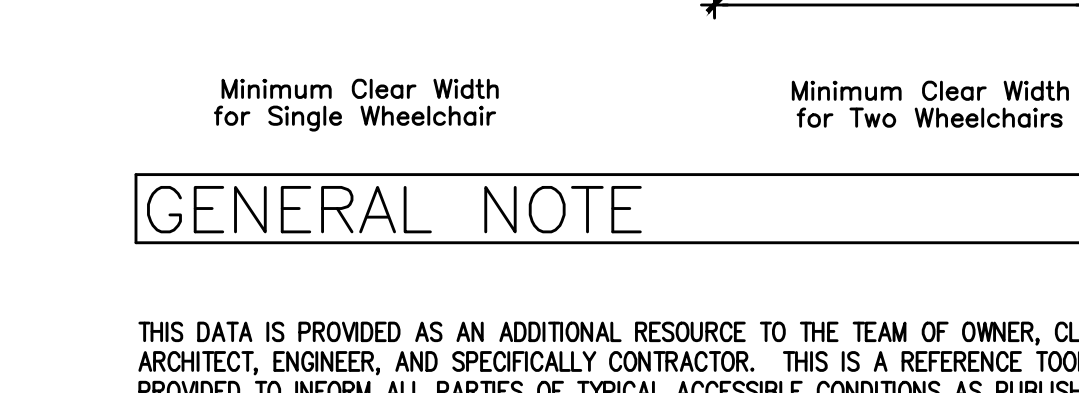


60-inch Diameter Space

T-Shaped Space for 180-Degree Turns



Wheelchair Turning Space



Minimum Clear Width for Single Wheelchair

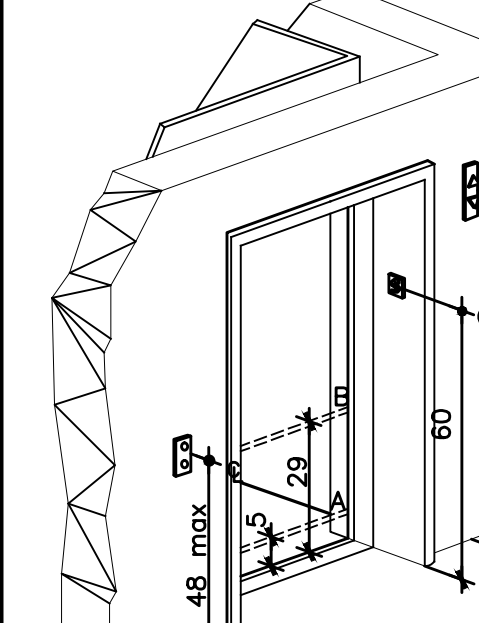
Minimum Clear Width for Two Wheelchairs

GENERAL NOTE

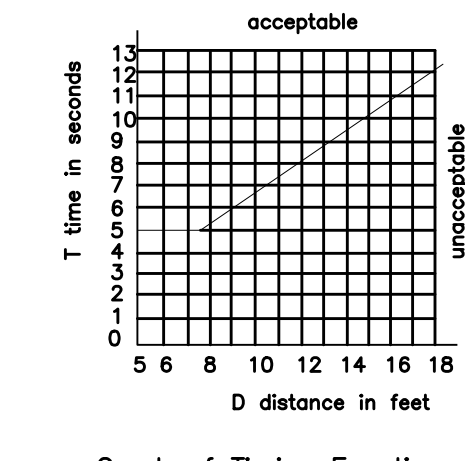
THIS DATA IS PROVIDED AS AN ADDITIONAL RESOURCE TO THE TEAM OF OWNER, CLIENT, ARCHITECT, ENGINEER, AND SPECIFICALLY CONTRACTOR. THIS IS A REFERENCE TOOL PROVIDED TO INFORM ALL PARTIES OF TYPICAL ACCESSIBLE CONDITIONS AS PUBLISHED PER ADAAG (AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES) EFFECTIVE SEPTEMBER 15, 2010. THE DIAGRAMS PROVIDED ARE DUPLICATIONS OF THE ADAAG STANDARDS AND ARE NOT INDICATIVE OF ALL CONDITIONS AND DO NOT REPRESENT THE ENTIRETY OF THE WRITTEN GUIDELINES AS CONTAINED IN THE PUBLISHED STANDARDS. THIS DATA IS IN SUPPORT OF GENERAL ARCHITECTURAL & ENGINEERING DOCUMENTATION, WHILE THE INFORMATION PROVIDED IN SHEETS G2.01 AND G2.02 ENDEAVOR TO REPRESENT TYPICAL CONDITIONS, IN THE EVENT OF A CONFLICT, THE PUBLISHED STANDARDS AND TECHNICAL MEMORANDA SHALL GOVERN.

FOR QUESTIONS REGARDING ADA ACCESSIBILITY GUIDELINES CONTACT:

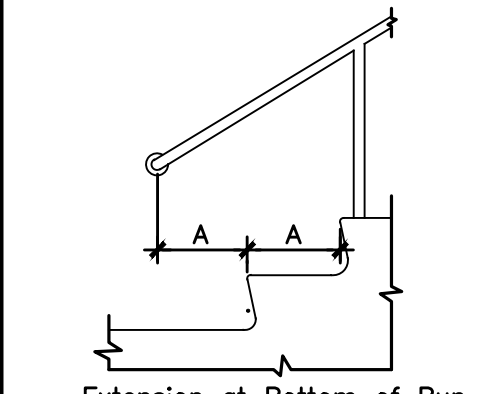
UNITED STATES DEPARTMENT OF JUSTICE  
CIVIL RIGHTS DIVISION  
950 PENNSYLVANIA AVENUE, N.W.  
DISABILITY RIGHTS SECTION - NYAV  
WASHINGTON, D.C. 20530  
http://www.ada.gov



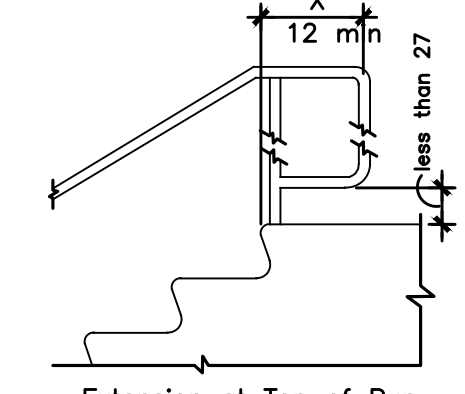
Hoistway and Elevator Entrances



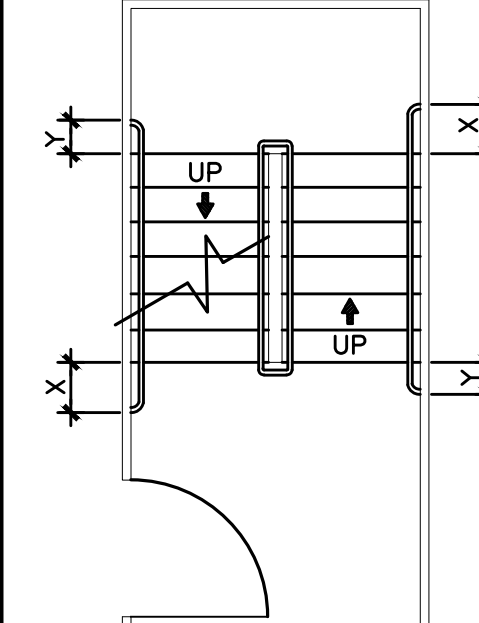
Graph of Timing Equation



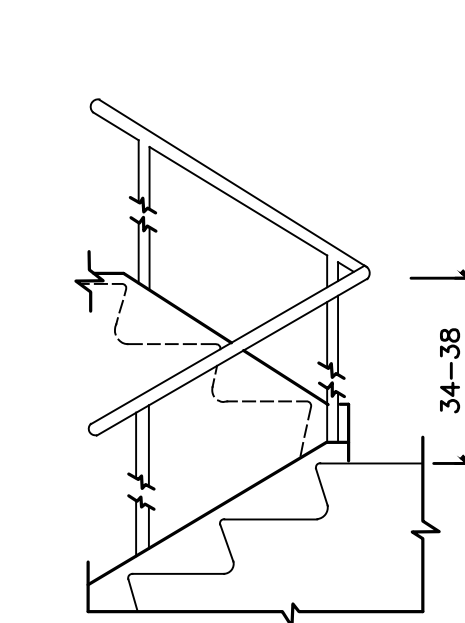
Extension at Bottom of Run



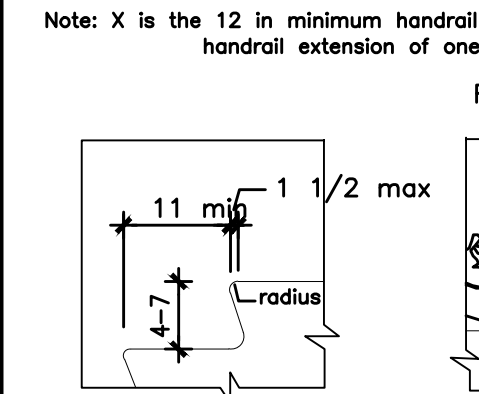
Extension at Top of Run



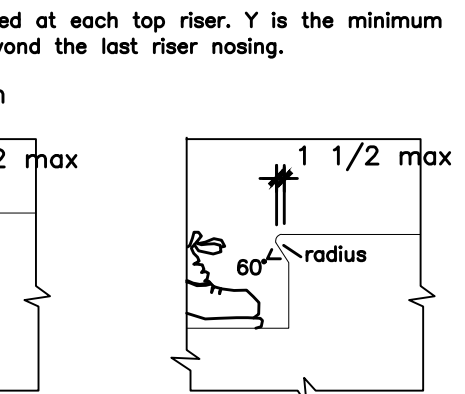
Plan



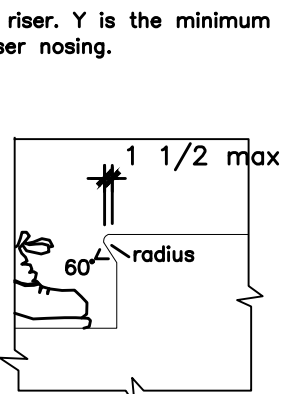
Elevation of Center Handrail



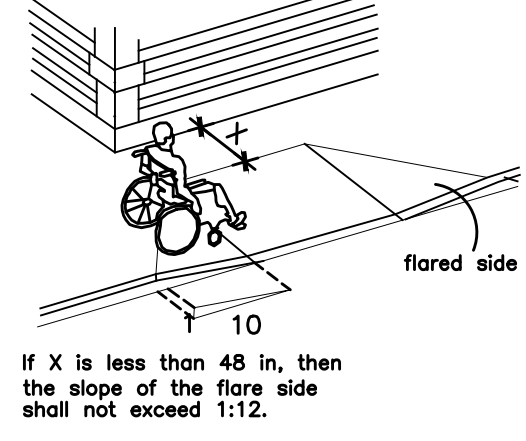
Flush Riser



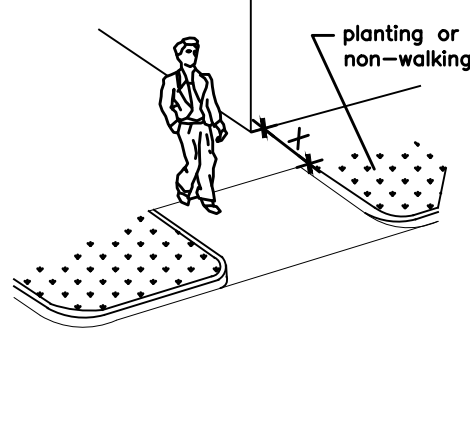
Usable Tread Width and Examples of Acceptable Nosings



Rounded Nosing

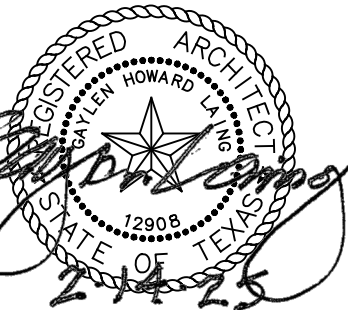


Flared Sides



Returned Curbs

Sides of Curb Ramps



DATE: 08/14/24

ISSUE:

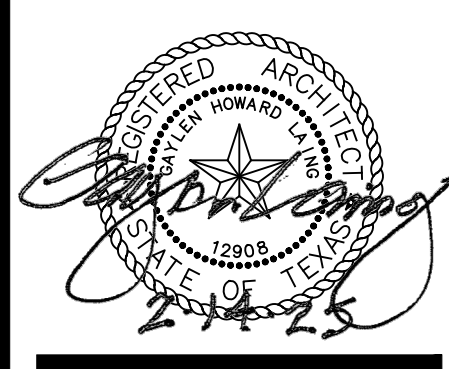
REVISION:

SHEET TITLE:

ACCESSIBILITY STANDARDS

G3.0





### P1 ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING NOTES
601	MISSION	LVP	VB	P	ACT
602	CONFERENCE	CPT	VB	P	ACT
603	OFFICE	CPT	VB	P	ACT
604	OFFICE	CPT	VB	P	ACT
605	OFFICE	CPT	VB	P	ACT
606	OFFICE	CPT	VB	P	ACT
607	OFFICE	CPT	VB	P	ACT
608	OFFICE	CPT	VB	P	ACT
609	MEN'S	LVP	VB	EPX	ACT
610	WOMEN'S	LVP	VB	EPX	ACT
611	STORAGE	LVP	VB	P	ACT

**FLOORING:**  
CPT CARPET TILE  
LVP LUXURY VINYL PLANK  
ETR EXISTING TO REMAIN  
PT PORCELAIN TILE  
SC SEALED CONCRETE

**WALLS:**  
P PAINT AND TEXTURE ON GYP. BD.  
CT PORCELAIN TILE  
EPX EPOXY PAINT COATING

**BASE:**  
VB VINYL BASE

**CEILING:**  
P PAINT AND TEXTURE ON GYP. BD.  
ACT LAY-IN ACOUSTICAL TILE

**GENERAL NOTES:**  
1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.  
2. BASE IN BATHROOMS SHALL BE 4" TALL.

### P1 DOOR SCHEDULE

DOOR NO.	TYPE	SIZE	MATL	FRAME	FIRE	HW
601A	2	(2)3'-0" X 7'-0"	STL	B	STL	10
601B	1	3'-0" X 7'-0"	STL	A	STL	11
602	3	(2)3'-0" X 7'-0"	WD	E	STL	8
603	4	3'-0" X 7'-0"	WD	C	STL	1
604	4	3'-0" X 7'-0"	WD	C	STL	1
605	4	3'-0" X 7'-0"	WD	C	STL	1
606	4	3'-0" X 7'-0"	WD	C	STL	1
607	4	3'-0" X 7'-0"	WD	C	STL	1
608	4	3'-0" X 7'-0"	WD	C	STL	1
609	EXIST	3'-0" X 7'-0"	TO BE REUSED			5
610	EXIST	3'-0" X 7'-0"	TO BE REUSED			5
611	EXIST	3'-0" X 7'-0"	TO BE REUSED			3

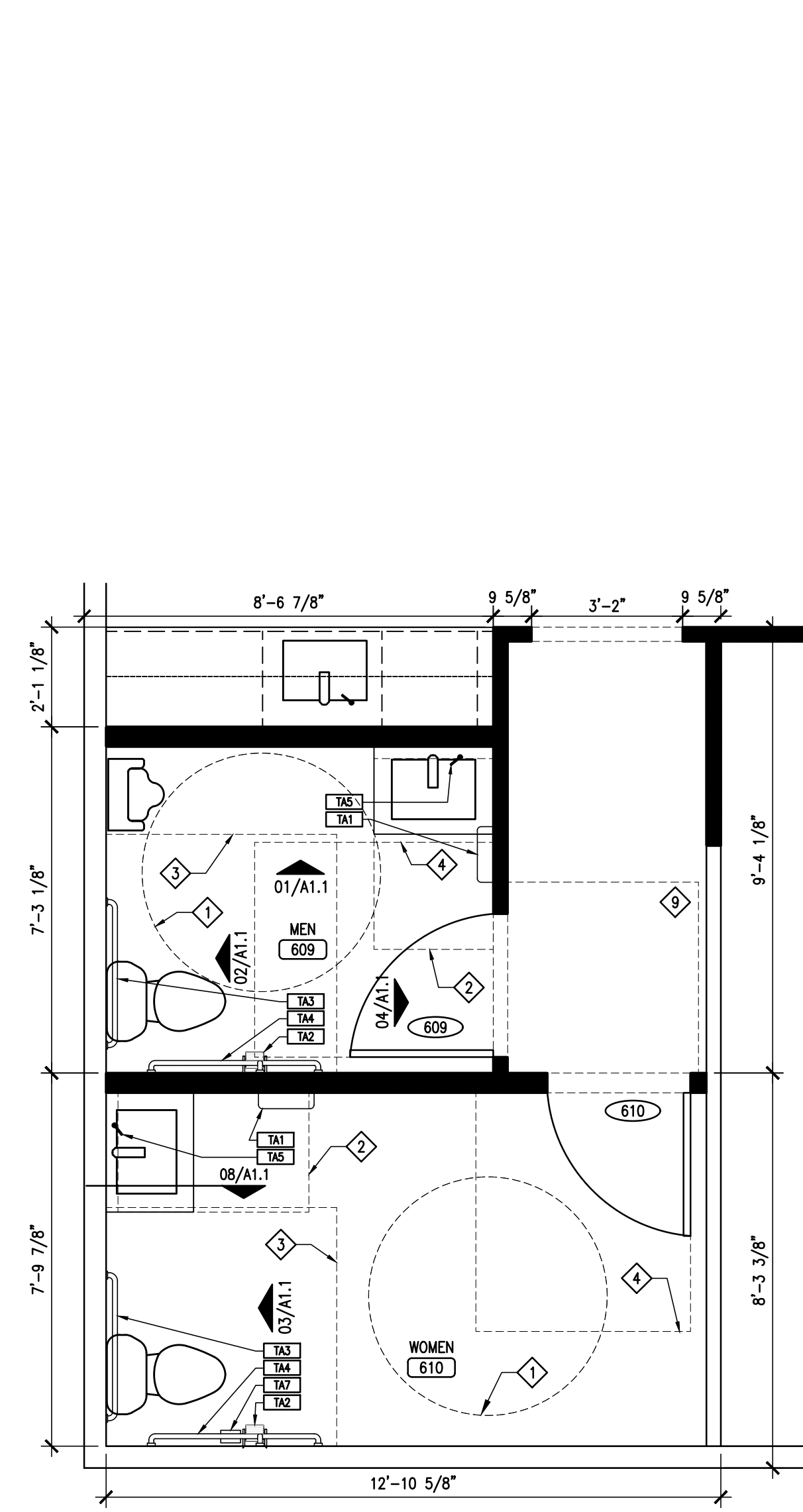
**GENERAL NOTES:**  
1. ALL DOORS TO BE 1 3/4" U.N.O.  
2. EXIT DEVICES SHALL COME WITH LOCKING LOCKSET ON OPPOSING SIDE OF DOOR  
3. DOOR SURFACES WITHIN 10" OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR.

**DOOR/FRAME MATERIAL:**  
PLAM PLASTIC LAMINATE CLAD  
HM HOLLOW/PRESSED METAL  
MTL METAL

- ### GENERAL FLOOR PLAN NOTES
- REFER TO MEP DRAWINGS FOR MORE INFORMATION.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE OWNER AND ARCHITECT OF ANY CONFLICT PRIOR TO THE COMMENCEMENT OF WORK.
  - PROVIDE WOOD BLOCKING FOR ALL ITEMS OR EQUIPMENT FASTENING INTO DRYWALL PARTITIONS, TYPICAL. FOR TV LOCATIONS, PROVIDE 12" HIGH X 16" WIDE BLOCKING W/ CENTER AT 60" A.F.F. FOR BESIDE TV'S PROVIDE BLOCKING AS RECOMMENDED BY MANUFACTURER
  - ALL PUBLIC USE DOORS SHALL HAVE HC ACCESSIBLE CLEAR FLOOR SPACE. NOTIFY ARCHITECT OF ANY CONFLICT TO COMPLIANCE.
  - REFER TO SHEET G2.1 & G2.2 FOR ACCESSIBILITY REQUIREMENT INCLUDING CLEAR FLOOR SPACE, MOUNTING HEIGHTS, CABINET CLEARANCES, ETC... THAT MUST BE MAINTAINED.
  - SEAL ALL PENETRATIONS IN RATED ASSEMBLIES TO MAINTAIN THE REQUIRED RATING.
  - WHERE WALLS AND PARTITIONS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATED ASSEMBLY, STEEL ELECTRICAL BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY THE FOLLOWING:
    - HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES.
    - BY SOLID FIRE BLOCKING IN ACCORDANCE WITH SECTION 717.2.1 OF 2018 INTERNATIONAL BUILDING CODE, WHICH STATES THAT FIRE BLOCKING MATERIALS SHALL CONSIST OF 2-INCH NOMINAL LUMBER.
    - BY PROTECTING BOTH OUTLET BOXES WITH LISTED PUTTY PADS.
  - WHERE OCCUPIED SPACES ARE OPEN TO DECK, EXPOSED STRUCTURE, PIPE, DUCTWORK, AND DRYWALL SHALL BE PREPARED FOR PAINT.
  - FLOORING TRANSITIONS BETWEEN ROOMS SHALL OCCUR BENEATH DOORS IN THE CLOSED POSITIONS, TYP.

- ### GENERAL RCP NOTES
- ALL 1 HOUR PARTITION WALLS SHALL TERMINATE TO THE BOTTOM OF THE 1-HOUR ROOF/CEILING ASSEMBLY.
  - ALL PENETRATIONS THROUGH RATED WALLS SHALL BE FIRE-STOPPED AS REQUIRED TO MAINTAIN WALL RATING.
  - COORDINATE LIGHT FIXTURE LOCATIONS WITH DOORS, MECHANICAL EQUIPMENT AND FIRE SPRINKLERS. NOTIFY THE ARCHITECT IF THERE IS A DISCREPANCY.
  - RELOCATE EXISTING HVAC AIR DEVICES AS REQUIRED. EXTEND OR OTHERWISE MODIFY DUCTWORK TO MAINTAIN PROPER PERFORMANCE OF THE SYSTEM.
  - RELOCATE FIRE SUPPRESSION SPRINKLER HEADS AS REQUIRED. EXTEND OR MODIFY PIPING AS REQUIRED TO RESULT IN A CODE COMPLIANT SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE ENGINEERED DESIGN AND SUBMIT TO THE CITY FOR APPROVAL.

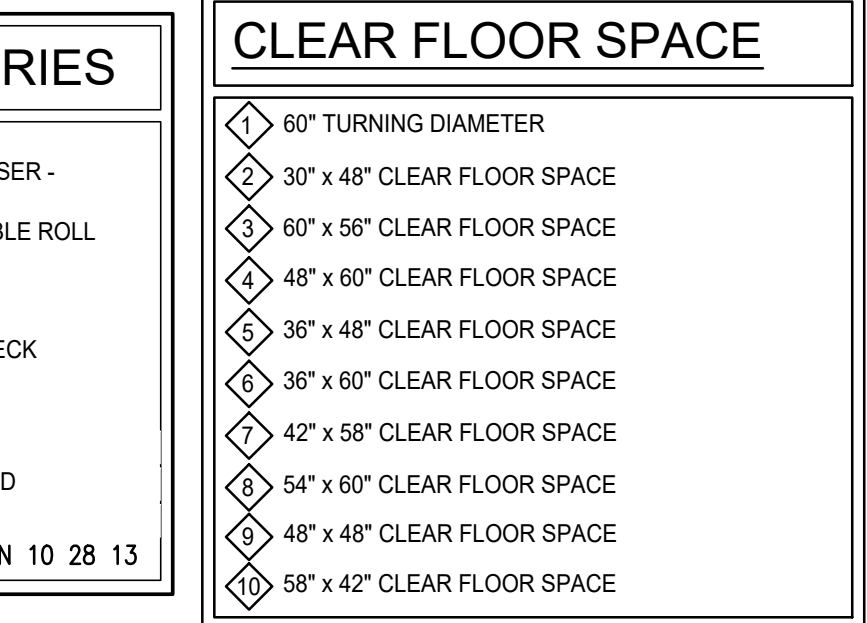
- ### GENERAL DEMOLITION NOTES
- REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
  - ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
  - REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
  - CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
  - COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
  - PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
  - PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
  - DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS, REFINISH EXISTING DOORS AND FRAMES REUSED.
  - LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
  - MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
  - FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS. CONTRACTOR TO FIELD VERIFY.
  - REMOVE ALL FLOORING THROUGHOUT, U.O.N. FLOORING INCLUDES CARPET, WOOD FLOORING, VCT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
  - PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
  - ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.



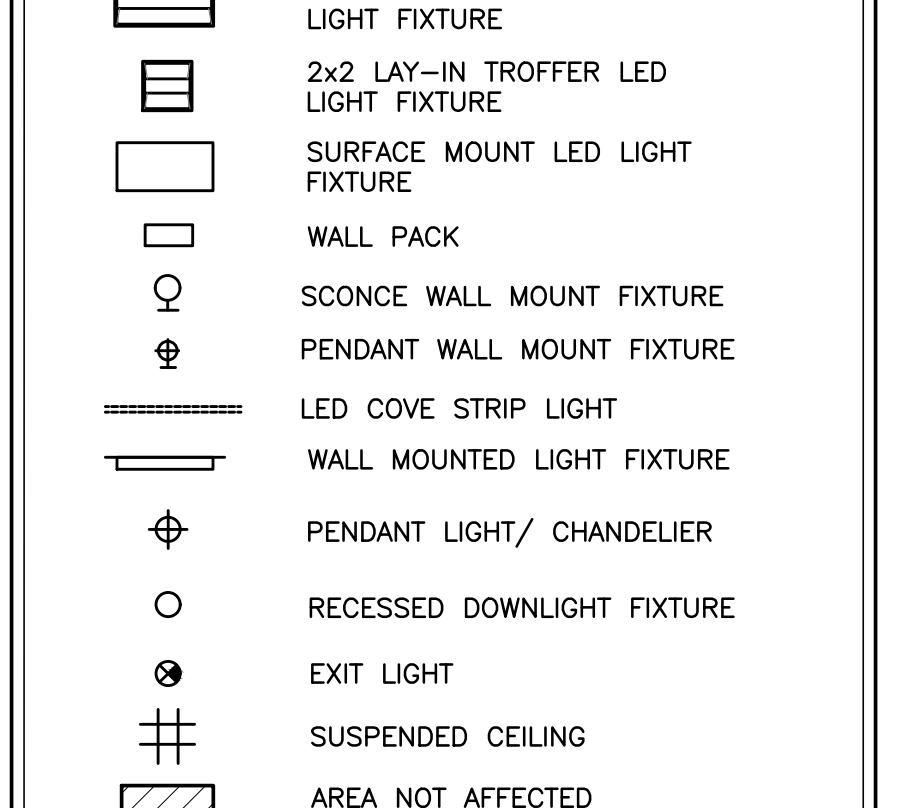
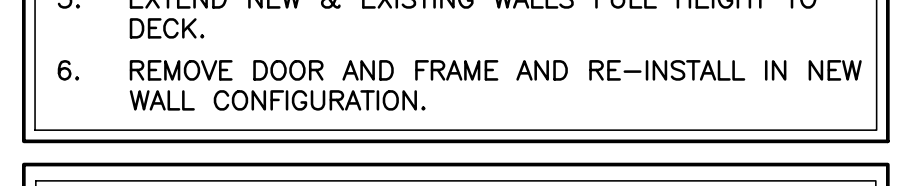
### TOILET ACCESSORIES

TA1	ENMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
TA2	TOILET TISSUE DISPENSER - DOUBLE ROLL
TA3	36" GRAB BAR
TA4	42" GRAB BAR
TA5	AUTOMATIC SOAP DISPENSER - DECK MOUNTED
TA6	SANITARY NAPKIN DISPOSAL UNIT
TA7	24" X 36" WALL MOUNTED MIRROR
TA8	SOAP DISPENSER - WALL MOUNTED
TA9	UNFRAMED MIRROR

SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13



- ### FLOOR PLAN NOTES BY NUMBER
- NEW METAL FRAMED WALL. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
  - NEW ALUMINUM FRAME AND GLASS PARTITION WALLS
  - NEW EXTERIOR INFILL WALL TO MATCH EXISTING.
  - RELOCATE EXISTING STOREFRONT DOOR & WINDOW UNITS.
  - EXTEND NEW & EXISTING WALLS FULL HEIGHT TO DECK.
  - REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW WALL CONFIGURATION.



- ### RCP NOTES BY NUMBER
- 2x2 A.C.T. SUSPENDED CEILING W/ 6" R-19 FIBERGLASS INSULATION OVER.
  - NEW 1-HR FIRE RATED GYPSUM BOARD CEILING, GA FILE NO. RC-2601. RE: RCP AND DETAILS.
  - EXISTING CEILING AND LIGHTING TO REMAIN.
  - NEW STANDING SEAM METAL ROOF ON EXISTING METAL AWNING STRUCTURE.
  - LIGHT COVE WITH LED COVE STRIP LIGHT.
  - CEILING OPEN TO DECK.
  - PENDANT LIGHTING SUSPENDED FROM ROOF STRUCTURE.
  - DECORATIVE RECESSED WOOD RAFTERS/BEAMS.
  - SUSPENDED LINEAR LIGHT FIXTURE.
  - EXISTING LIGHTING FIXTURE TO REMAIN.

- ### DEMOLITION NOTES BY NUMBERS
- REMOVE EXISTING WALL (DASHED).
  - REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
  - REMOVE EXISTING CABINETRY.
  - REMOVE EXISTING WINDOW.
  - REMOVE EXISTING LIGHT FIXTURE(S).
  - REMOVE EXISTING PLUMBING FIXTURE.
  - REMOVE EXISTING LAY-IN CEILING.
  - EXISTING CEILING AND LIGHTING TO REMAIN.
  - REMOVE EXISTING TOILET PARTITIONS.
  - REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
  - REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
  - REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
  - STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
  - REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
  - REMOVE BAPTISTERY.
  - REMOVE ROLLING COUNTER SHUTTER.
  - REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
  - DISMANTLE AND REMOVE PORTABLE DESK.
  - REMOVE EXISTING STEEL DOOR(S) AND FRAME.
  - EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
  - CONDENSING UNIT TO BE REMOVED AND RELOCATED.

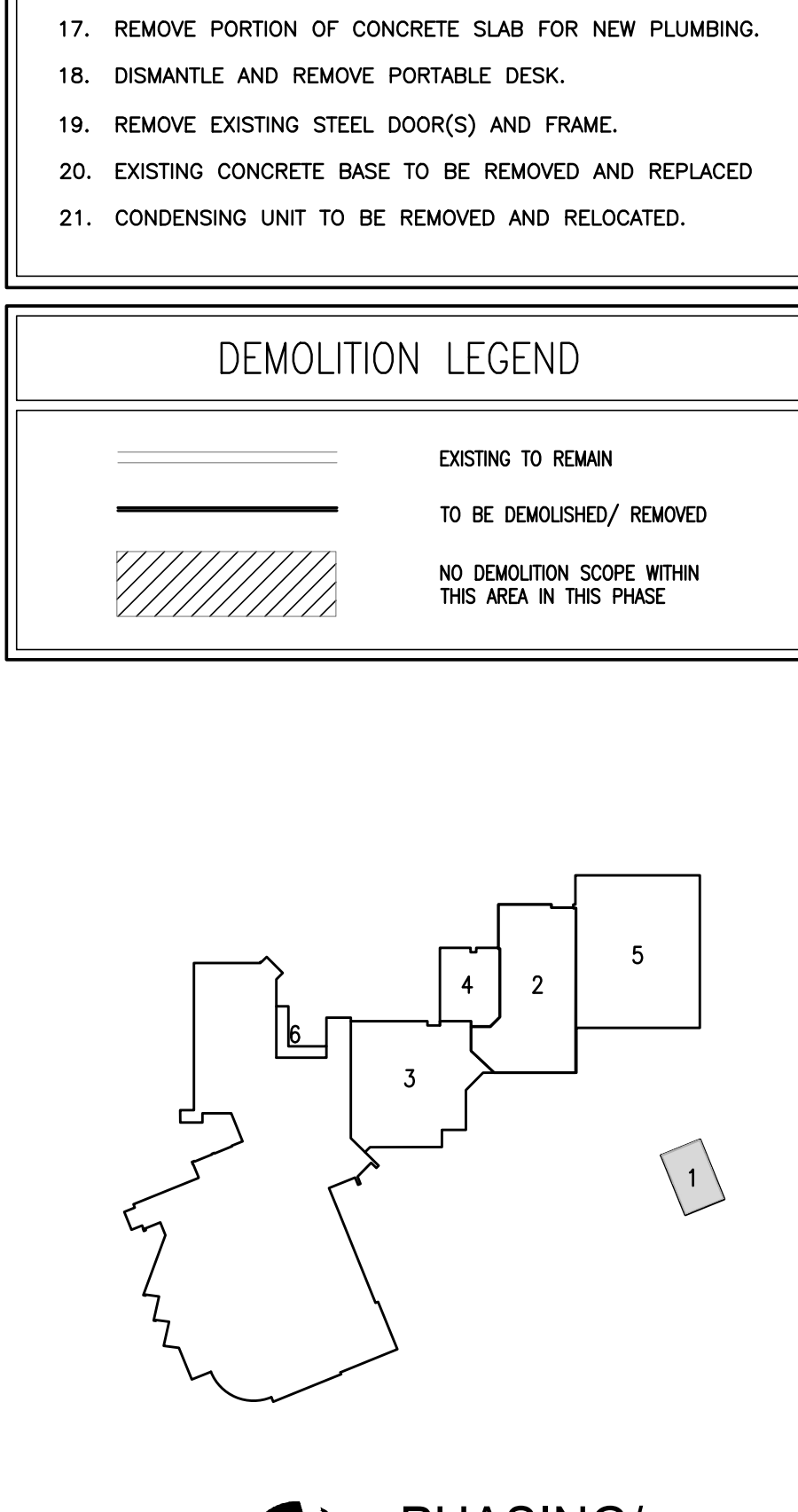
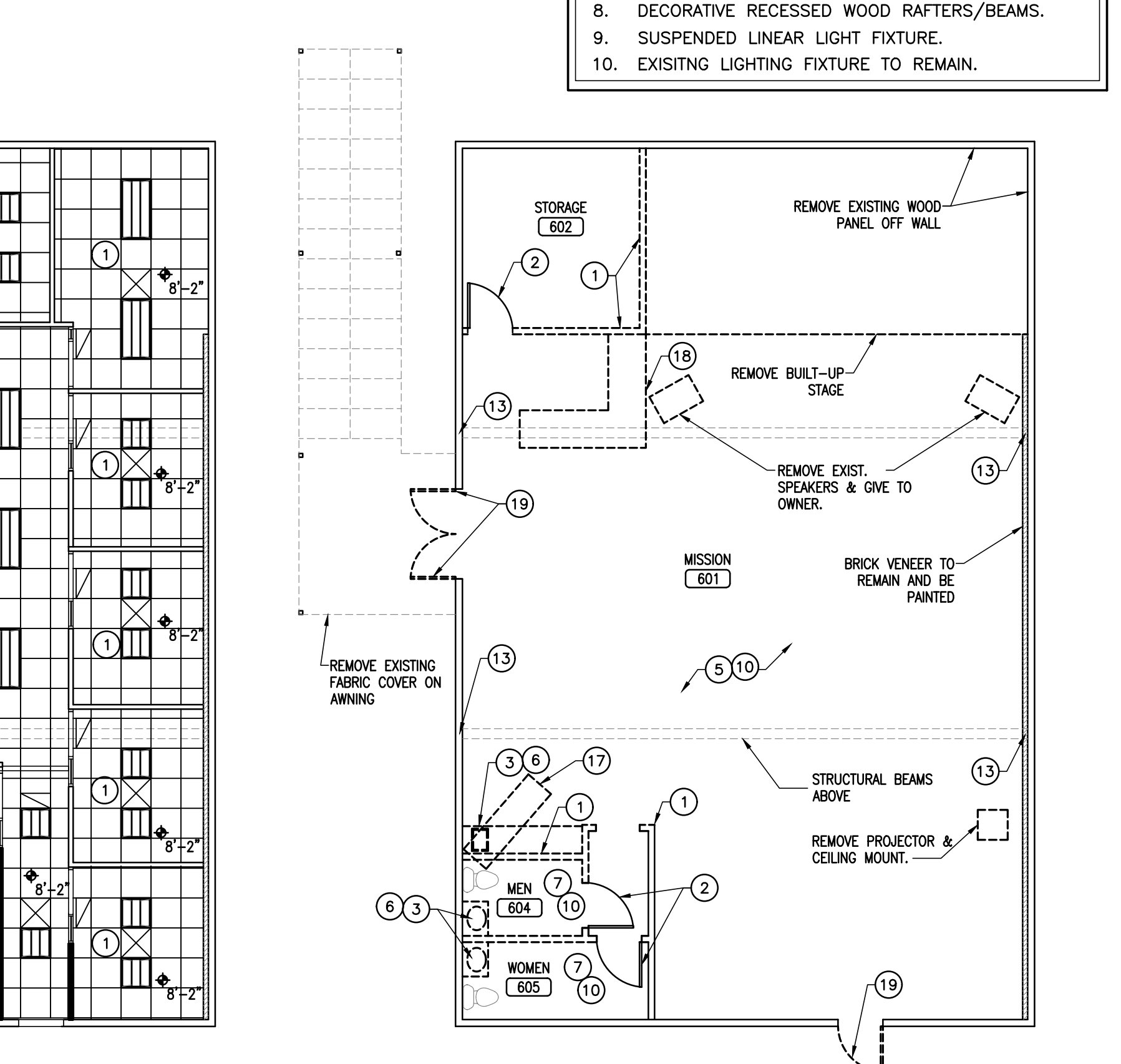
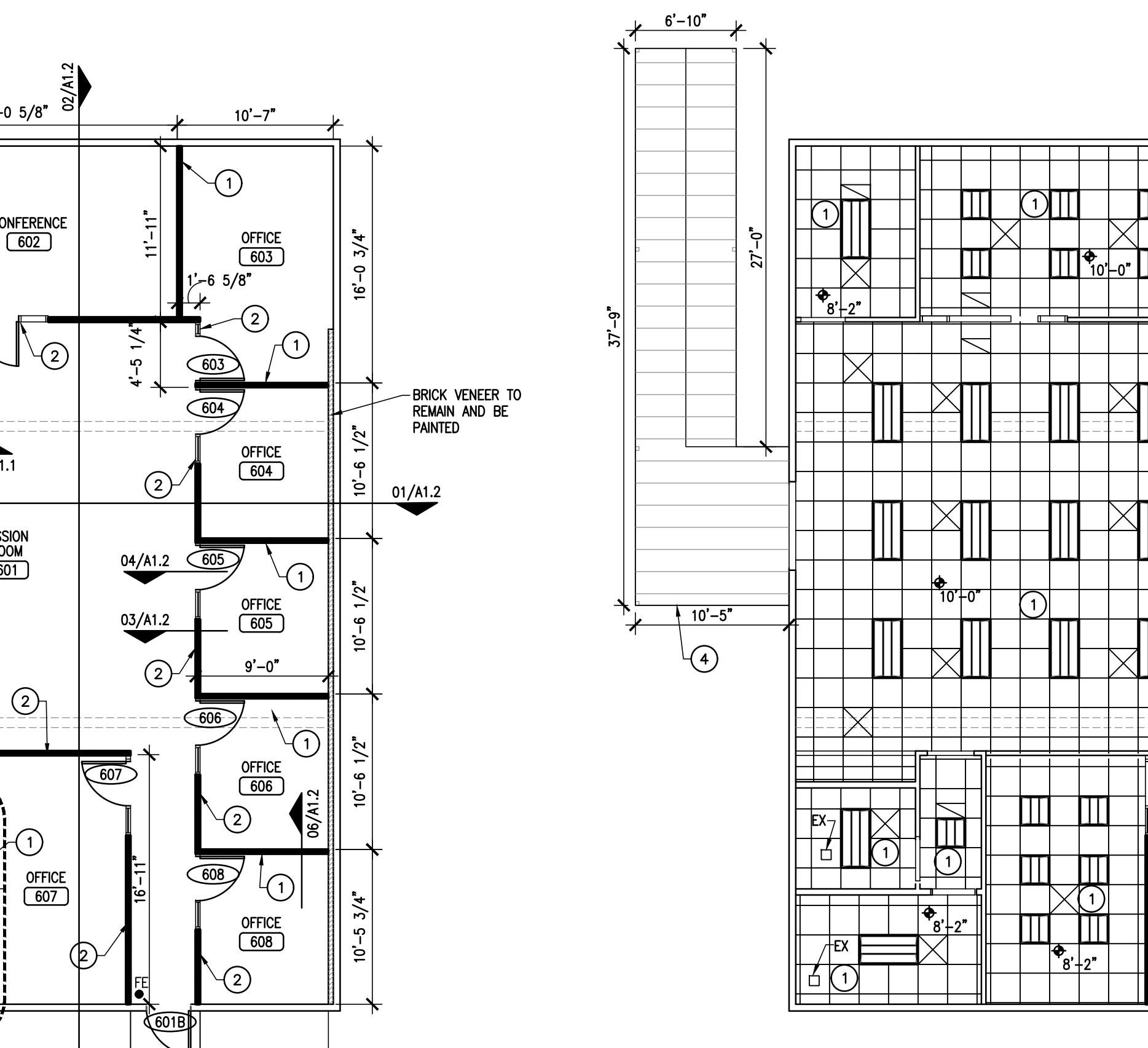
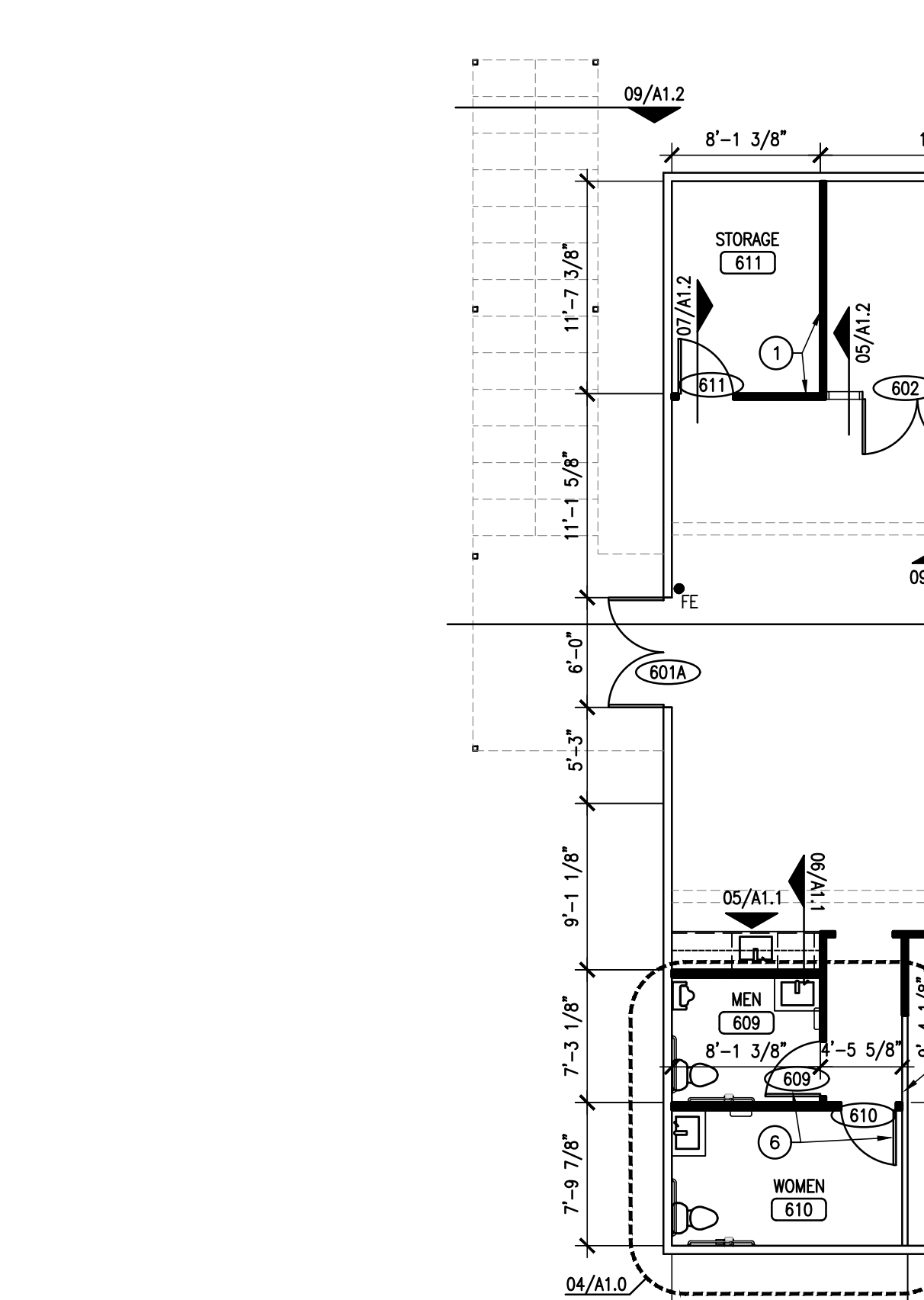
**04 ENLARGED RESTROOM PLAN**  
SCALE: 3/8"=1'-0"

**04 DOOR SCHEDULE**  
SCALE: 1/4"=1'-0"

**02 REFLECTED CEILING PLAN**  
SCALE: 1/8"=1'-0"

**01 PHASE 1 DEMO FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**03 PHASE 1 FLOOR PLAN**  
SCALE: 1/8"=1'-0"

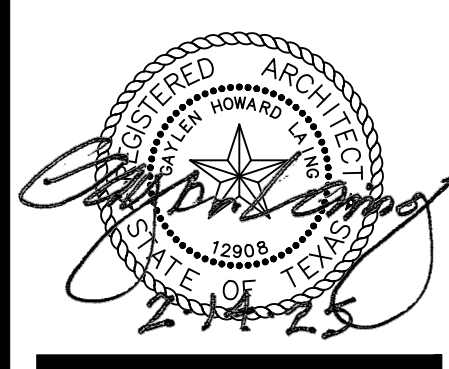


**03 PHASE 1 FLOOR PLAN**  
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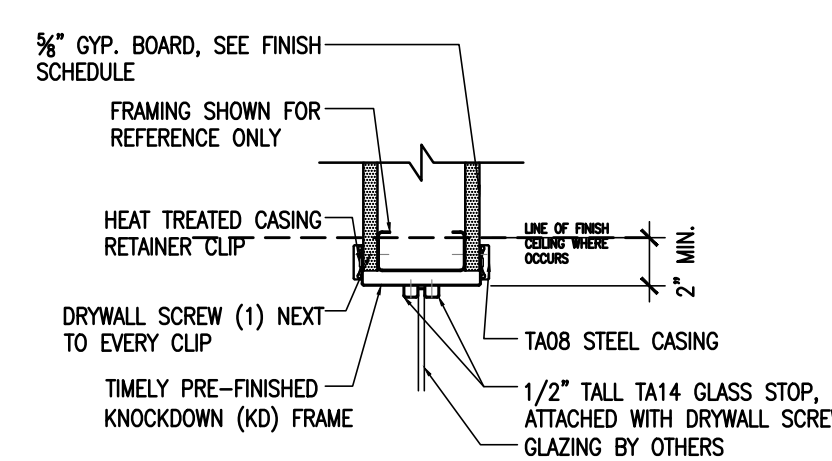
**02 REFLECTED CEILING PLAN**  
SCALE: 1/8"=1'-0"

**01 PHASE 1 DEMO FLOOR PLAN**  
SCALE: 1/8"=1'-0"

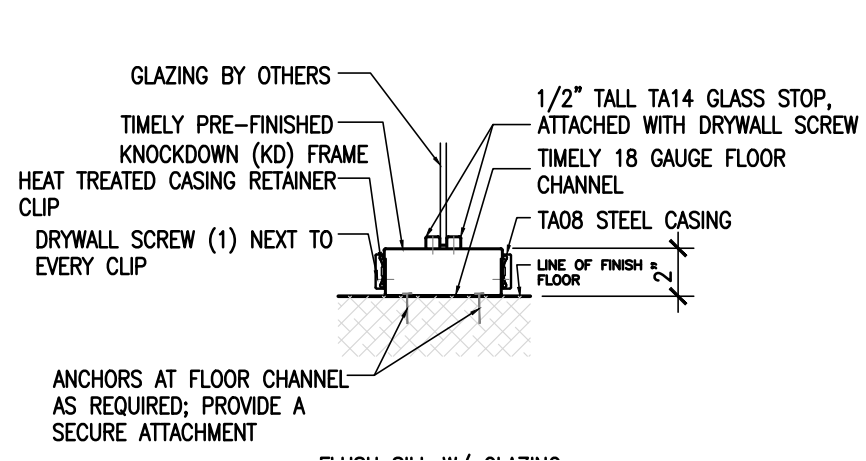
**03 PHASE 1 FLOOR PLAN**  
SCALE: 1/8"=1'-0"



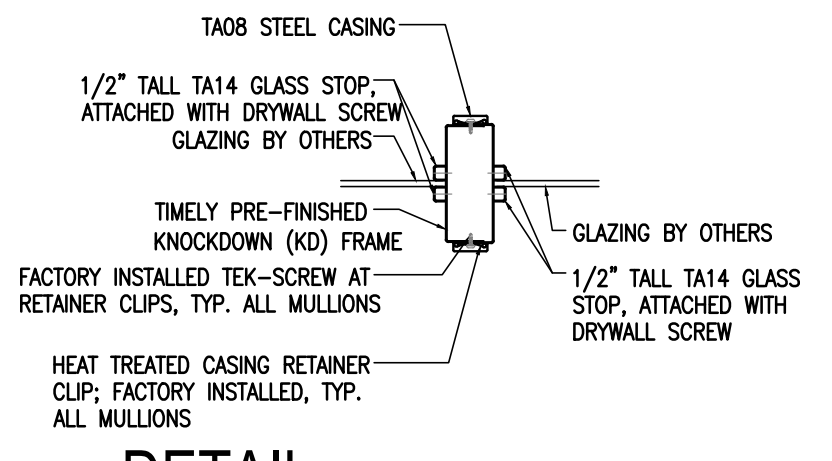
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ISSUE:  
REVISION:  
SHEET TITLE:  
PHASE 1  
INT. ELEVATIONS



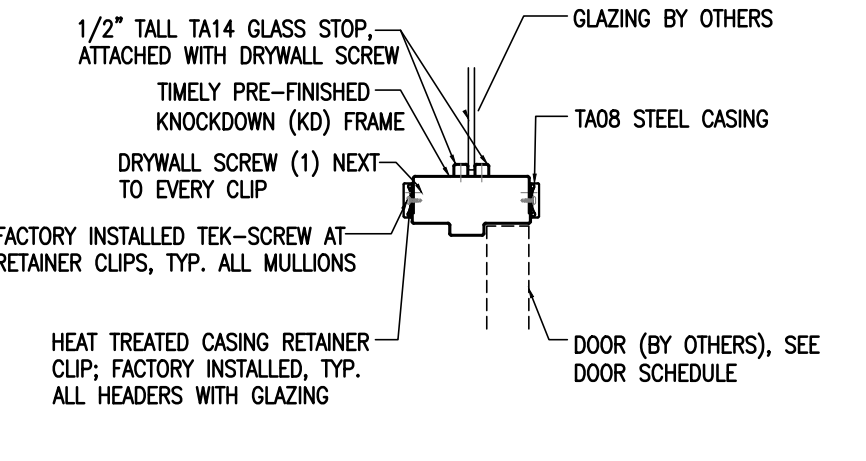
**19** DETAIL - HEADER  
W/ GLAZING  
SCALE: 1-1/2"=1'-0"



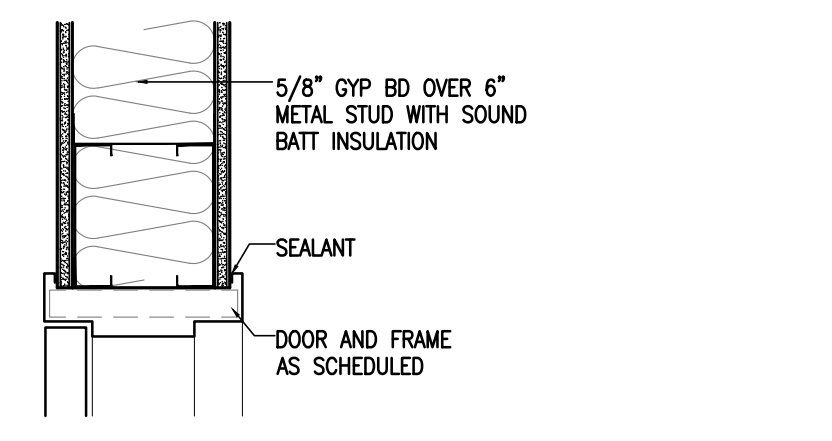
**14** DETAIL - FLUSH SILL  
W/ GLAZING  
SCALE: 1-1/2"=1'-0"



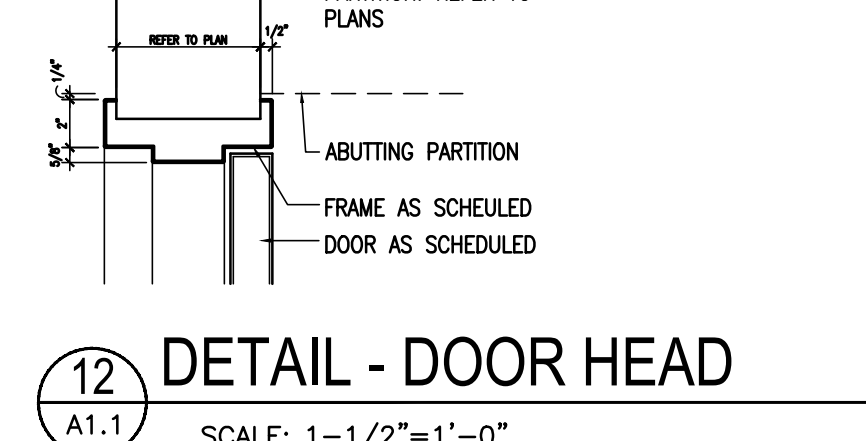
**18** DETAIL -  
GLASS-TO-GLASS SIDELITE  
SCALE: 1-1/2"=1'-0"



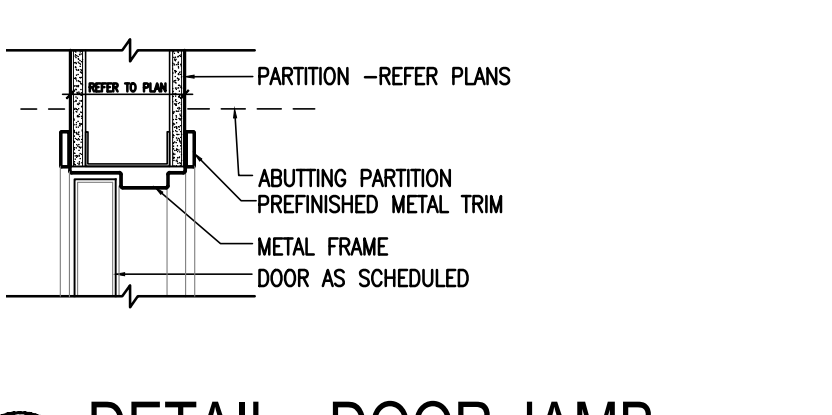
**13** DETAIL - TRANSOM HEADER  
SCALE: 1-1/2"=1'-0"



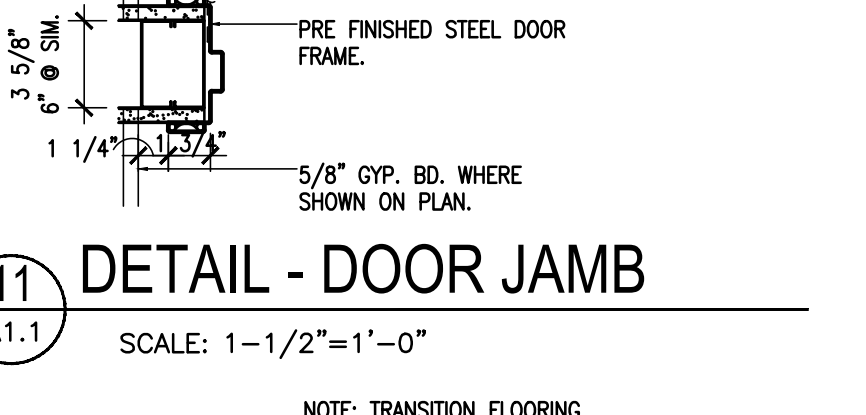
**17** DETAIL - DOOR HEAD  
SCALE: 1-1/2"=1'-0"



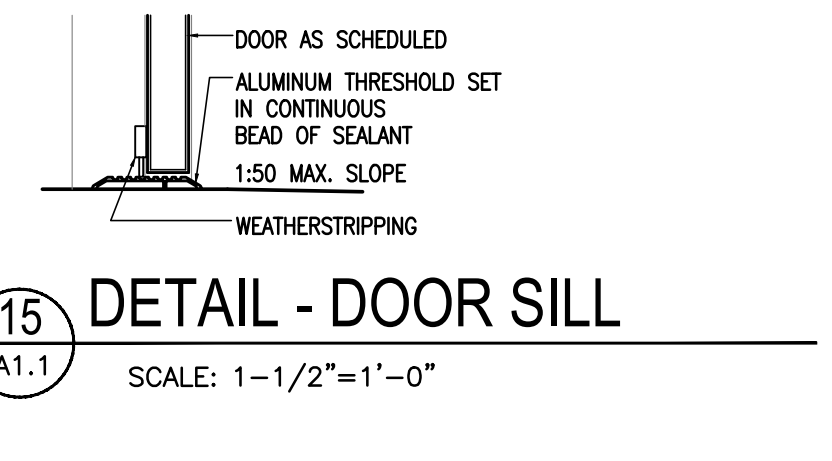
**12** DETAIL - DOOR HEAD  
SCALE: 1-1/2"=1'-0"



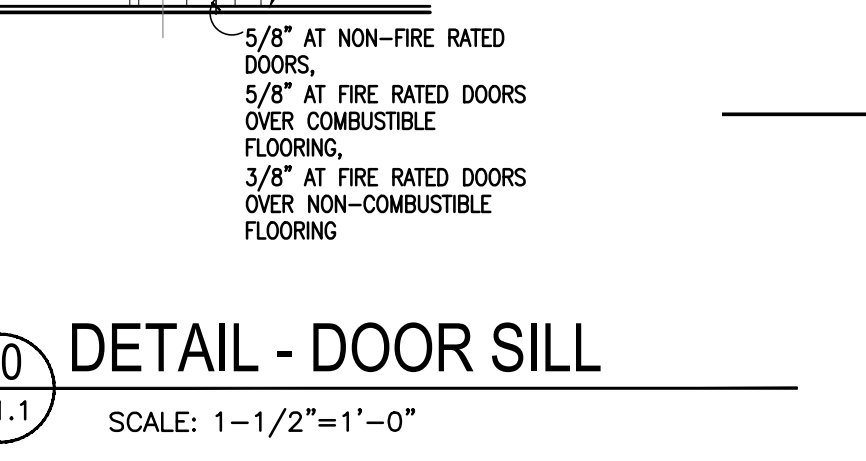
**16** DETAIL - DOOR JAMB  
SCALE: 1-1/2"=1'-0"



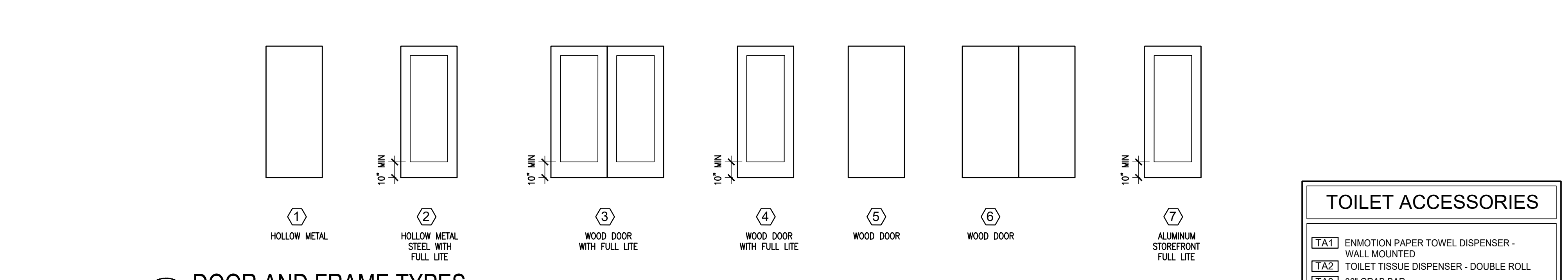
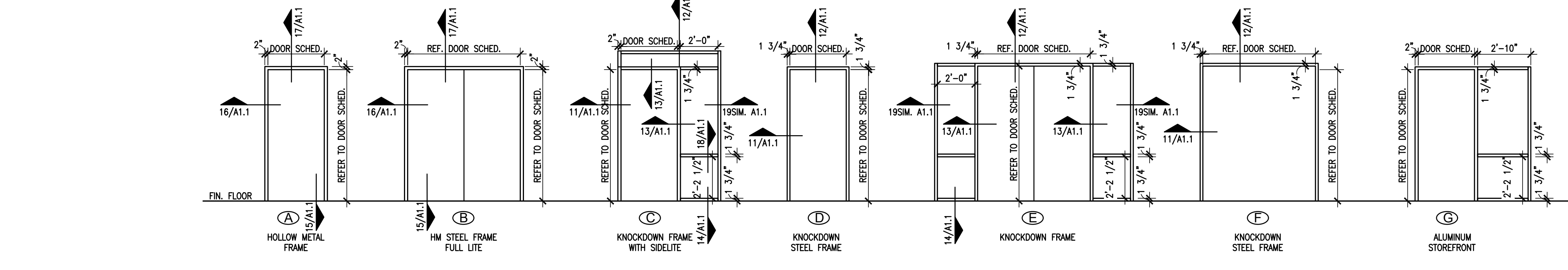
**11** DETAIL - DOOR JAMB  
SCALE: 1-1/2"=1'-0"



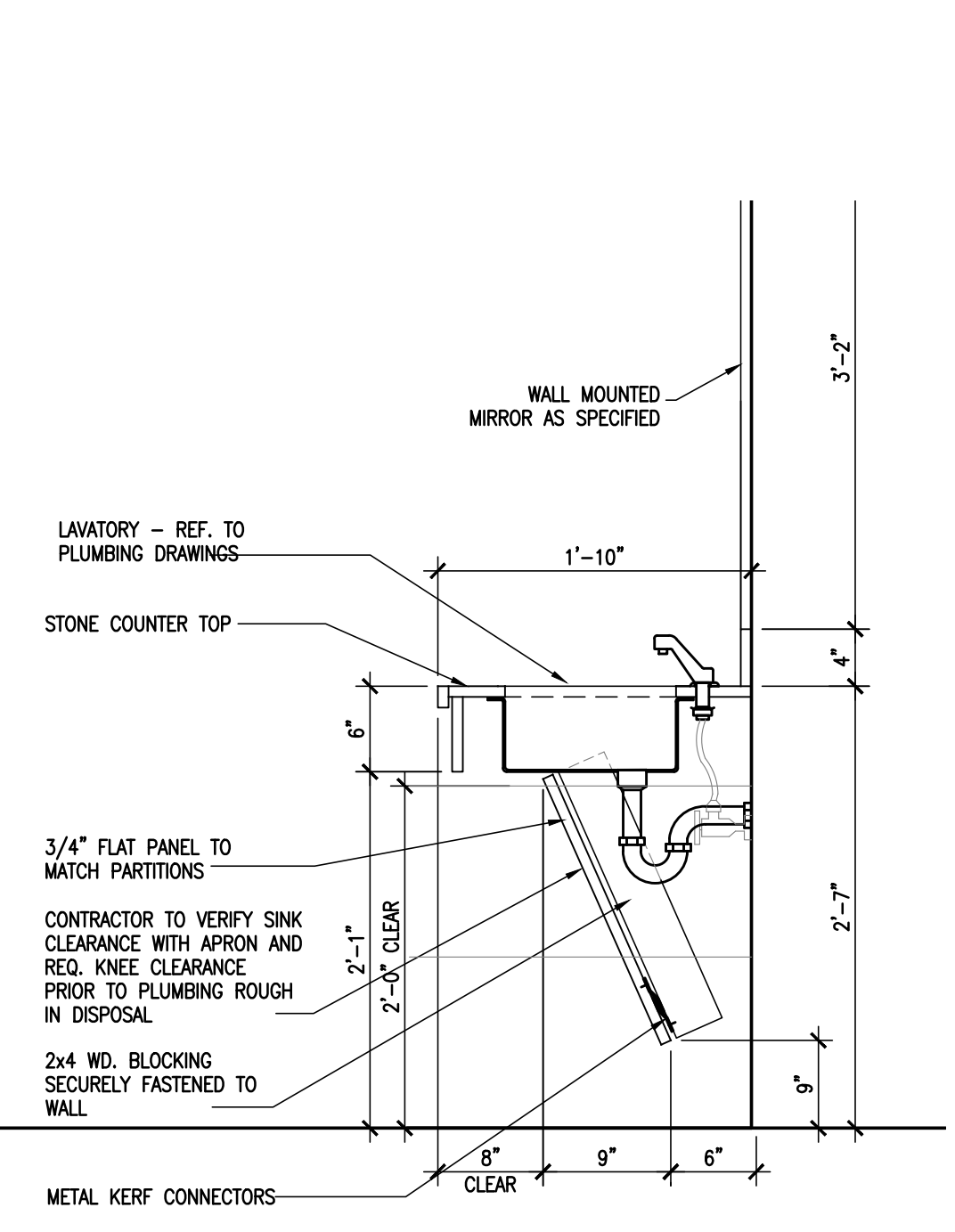
**15** DETAIL - DOOR SILL  
SCALE: 1-1/2"=1'-0"



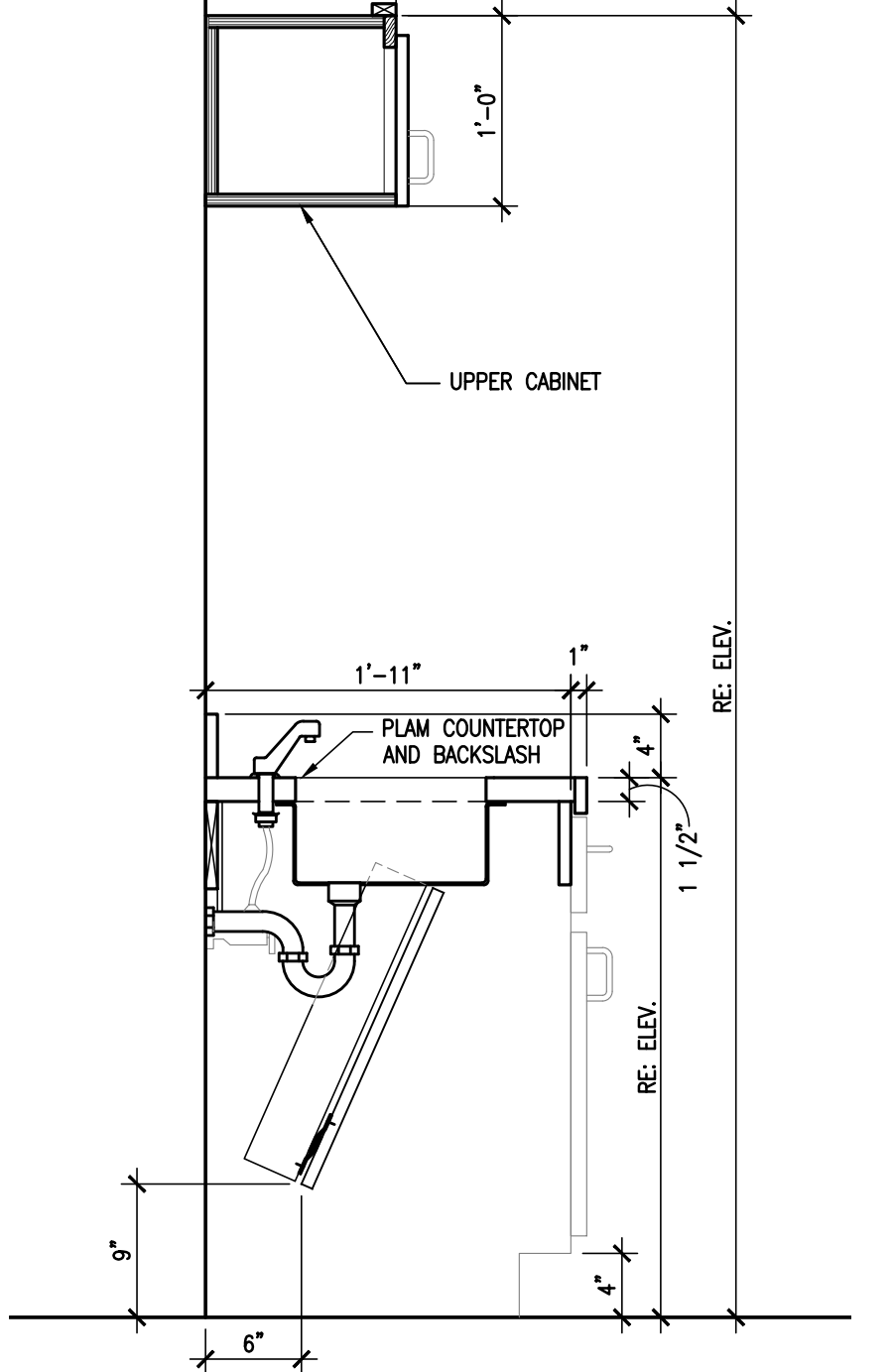
**10** DETAIL - DOOR SILL  
SCALE: 1-1/2"=1'-0"



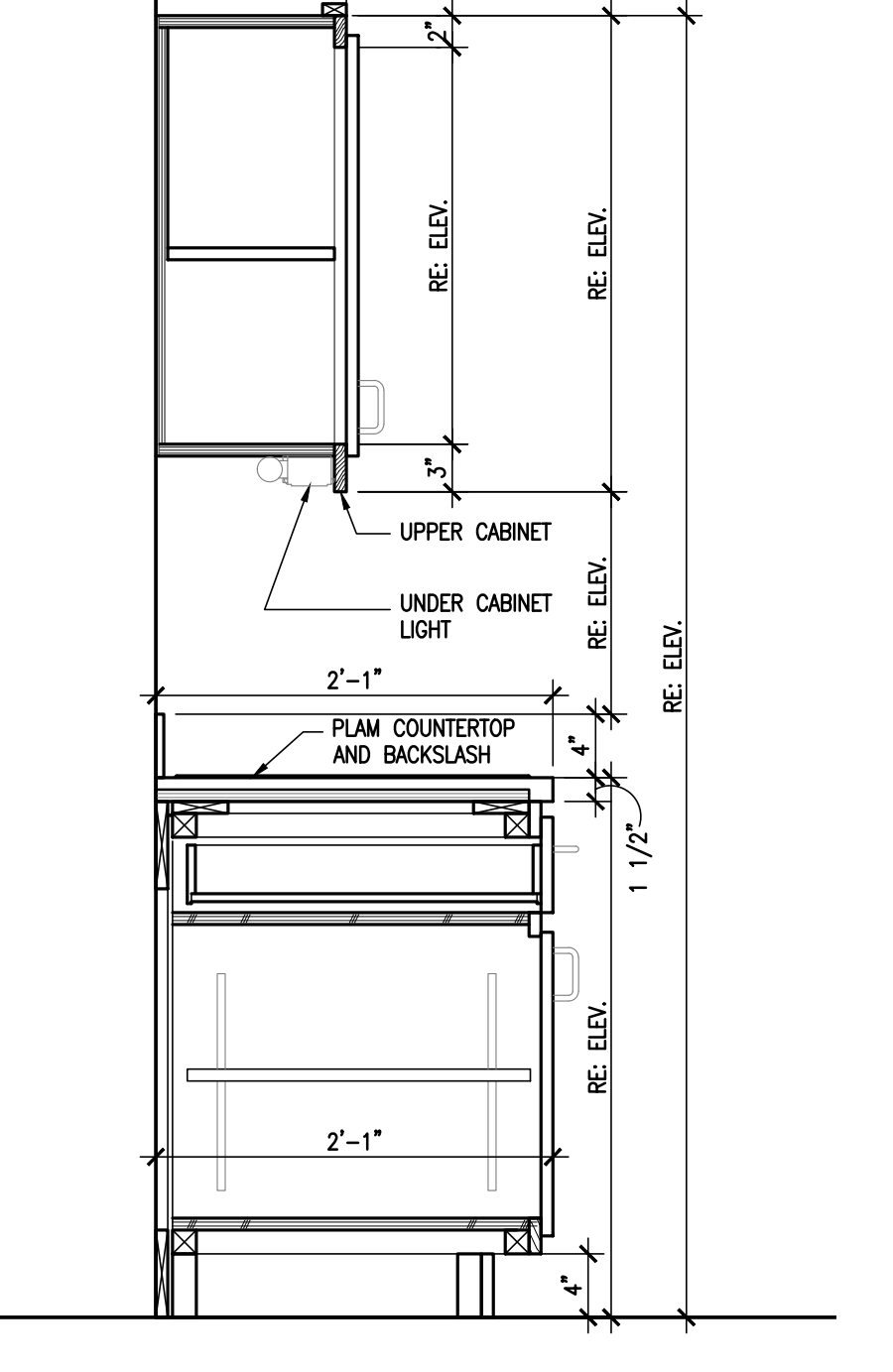
**09** DOOR AND FRAME TYPES  
SCALE: 1/4"=1'-0"



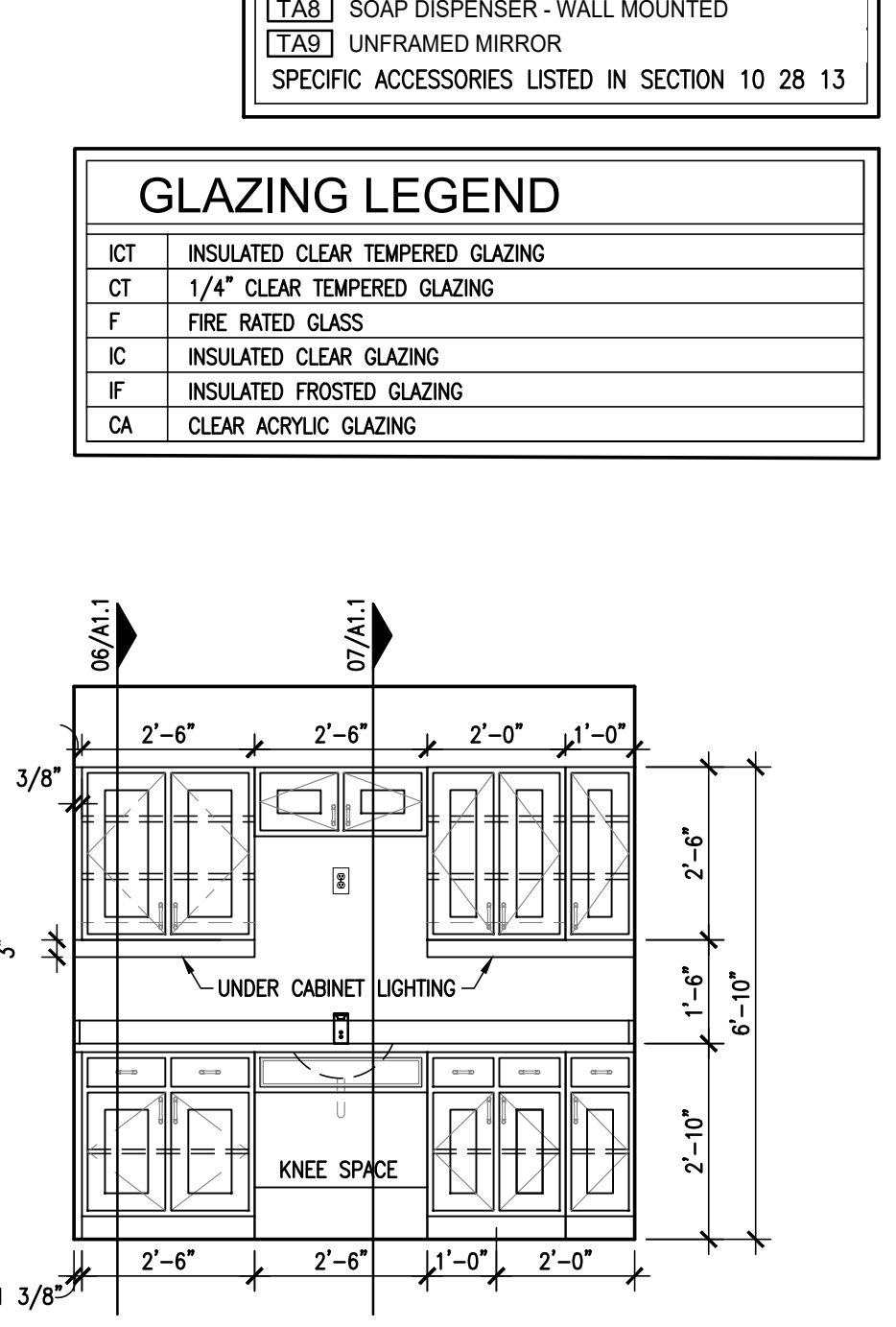
**08** LAVATORY SINK -  
SECTION DETAIL  
SCALE: 1"=1'-0"



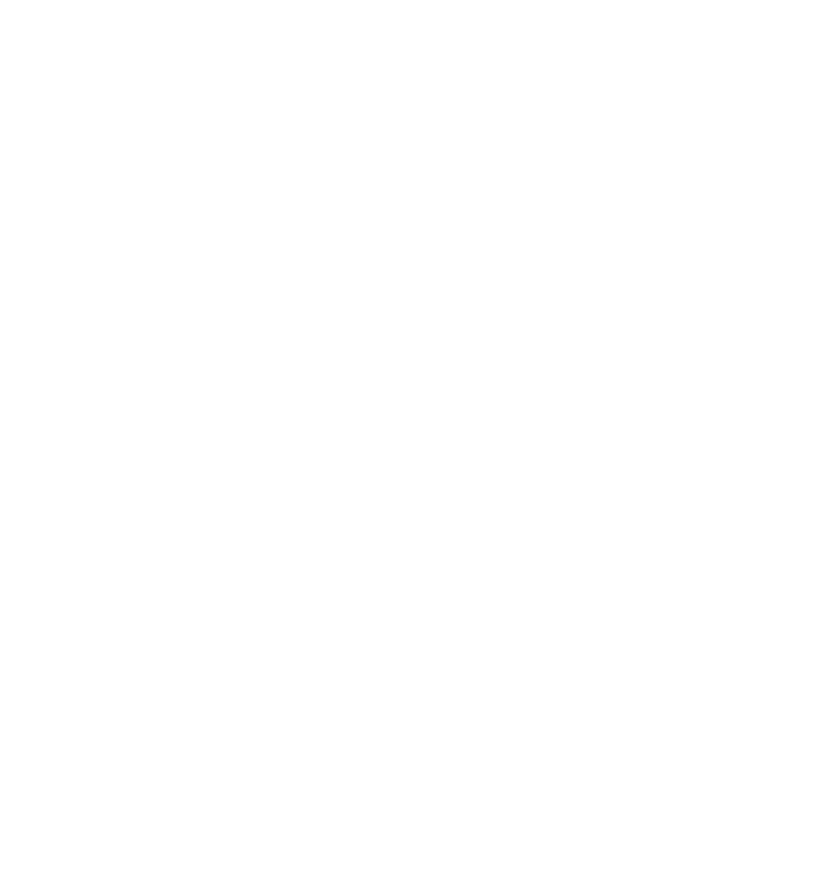
**07** KITCHENETTE -  
SECTION DETAIL  
SCALE: 1"=1'-0"



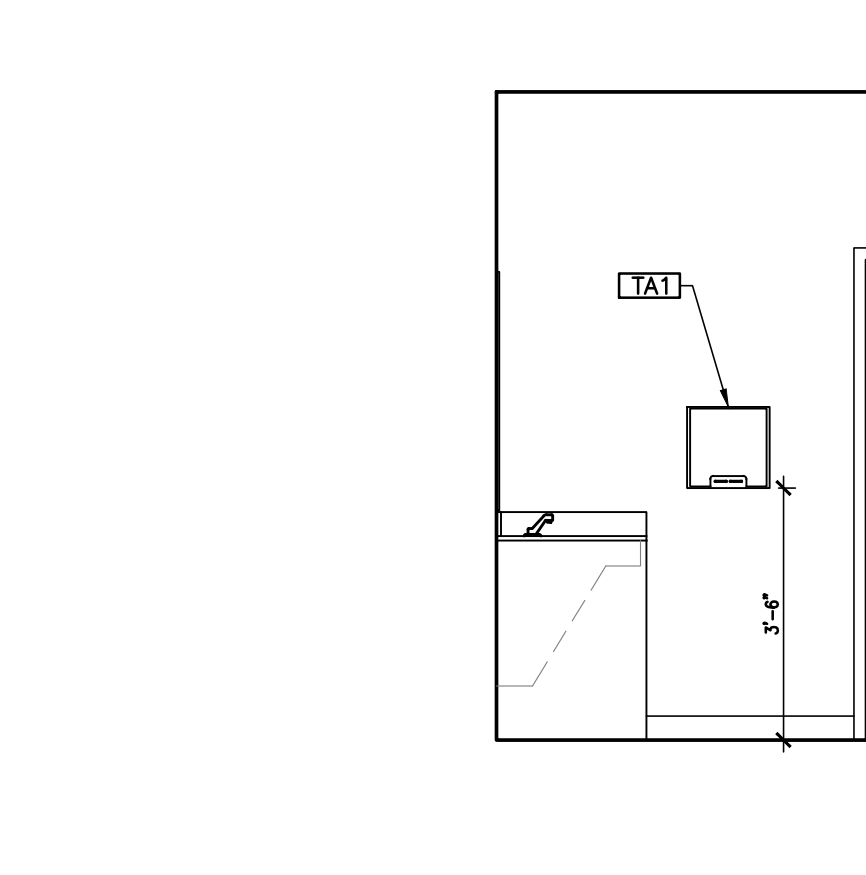
**06** KITCHENETTE -  
SECTION DETAIL  
SCALE: 1"=1'-0"



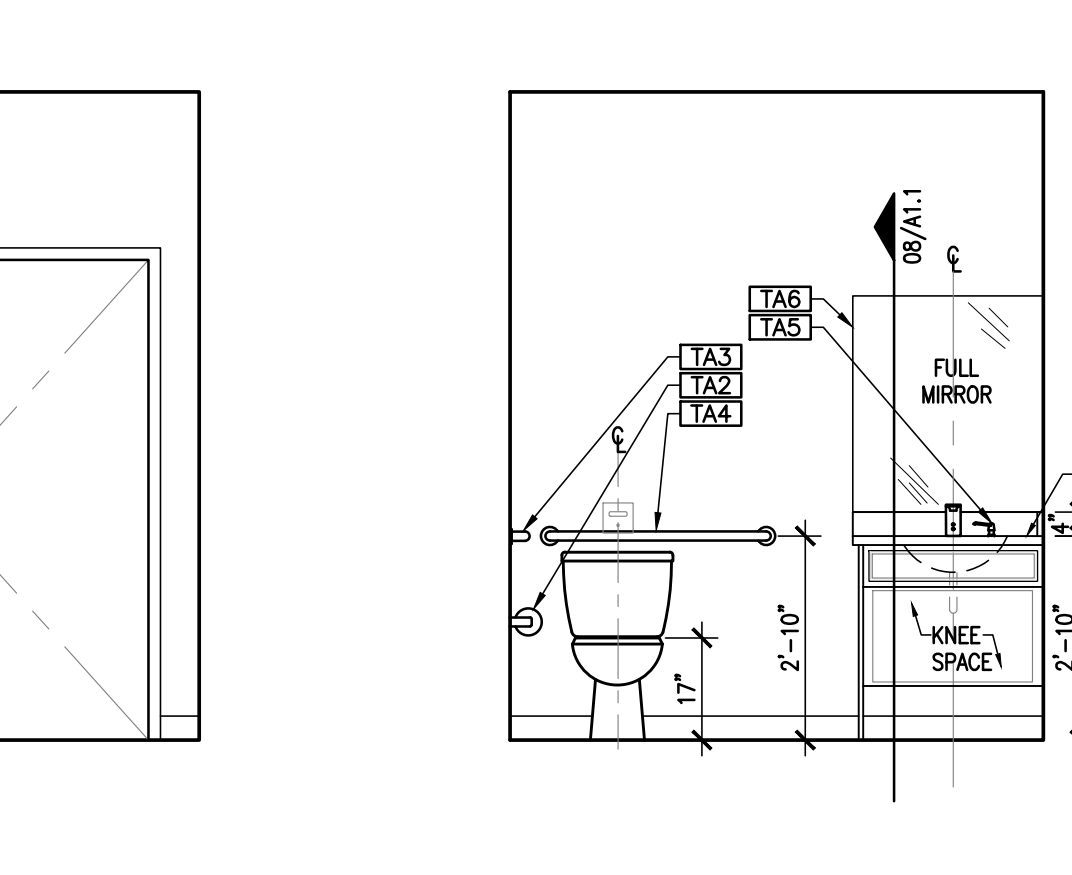
**05** INT. ELEVATION -  
KITCHENETTE  
SCALE: 3/8"=1'-0"



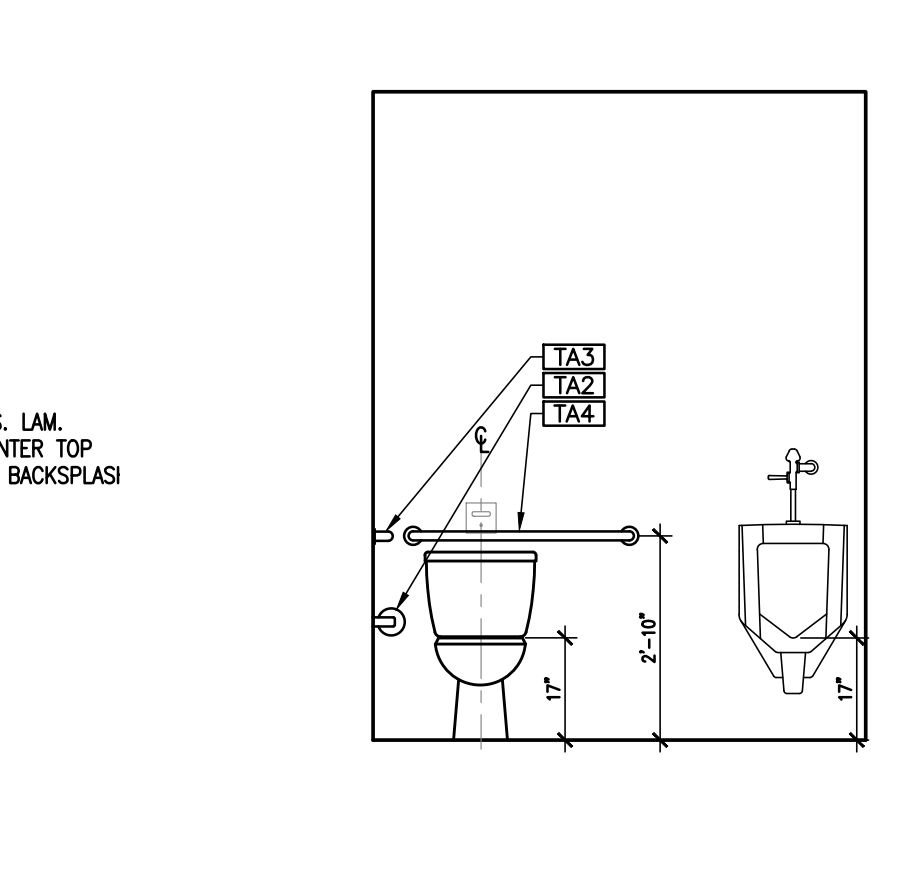
**04** INT. ELEVATION - MEN  
SCALE: 3/8"=1'-0"



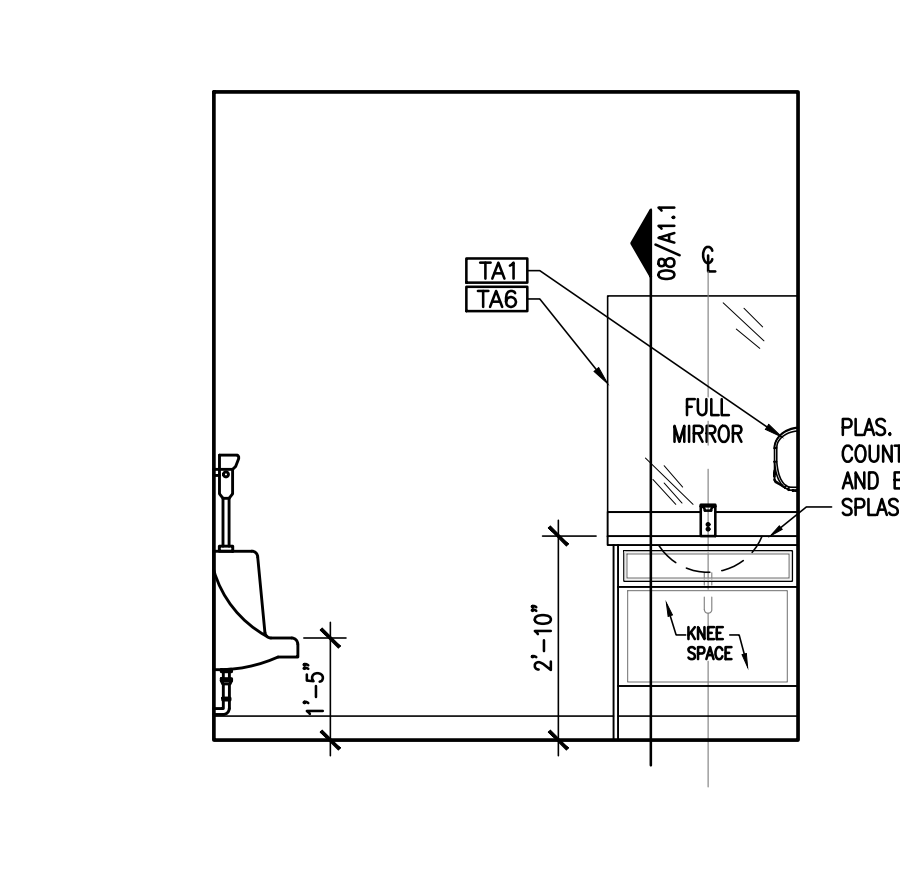
**03** INT. ELEVATION - WOMEN  
SCALE: 3/8"=1'-0"



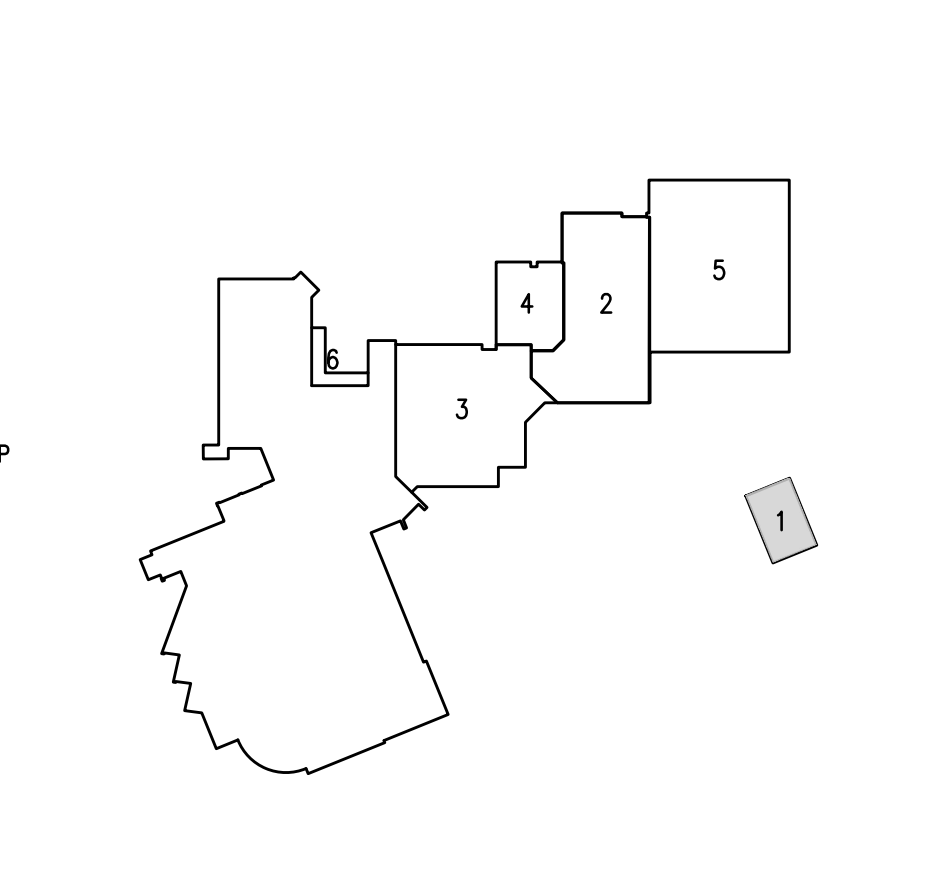
**02** INT. ELEVATION - MEN  
SCALE: 3/8"=1'-0"



**01** INT. ELEVATION - MEN  
SCALE: 3/8"=1'-0"



**01** INT. ELEVATION - MEN  
SCALE: 3/8"=1'-0"



**KEY PLAN**  
NORTH

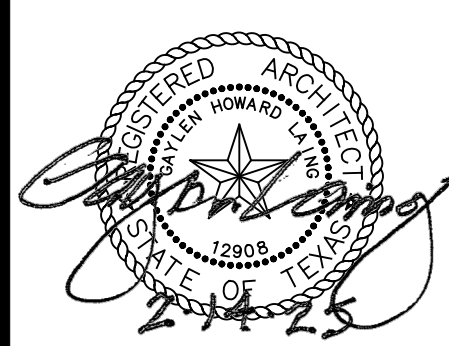
**TOILET ACCESSORIES**

TA1	ENMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
TA2	TOILET TISSUE DISPENSER - DOUBLE ROLL
TA3	36" GRAB BAR
TA4	42" GRAB BAR
TA5	AUTOMATIC SOAP DISPENSER - DECK MOUNTED
TA6	SANITARY NAPKIN DISPOSAL UNIT
TA7	24" X 36" WALL MOUNTED MIRROR
TA8	SOAP DISPENSER - WALL MOUNTED
TA9	UNFRAMED MIRROR

SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13

**GLAZING LEGEND**

ICT	INSULATED CLEAR TEMPERED GLAZING
CT	1/4" CLEAR TEMPERED GLAZING
F	FIRE RATED GLASS
IC	INSULATED CLEAR GLAZING
IF	INSULATED FROSTED GLAZING
CA	CLEAR ACRYLIC GLAZING



DATE: 08/14/24

ISSUE:

REVISION:

SHEET TITLE:

PHASE 1  
BUILDING SECTIONS  
& DETAILS

**A1.2**

**PROSTUD FULL COMPOSITE  
LIMITING HEIGHTS** \*\*

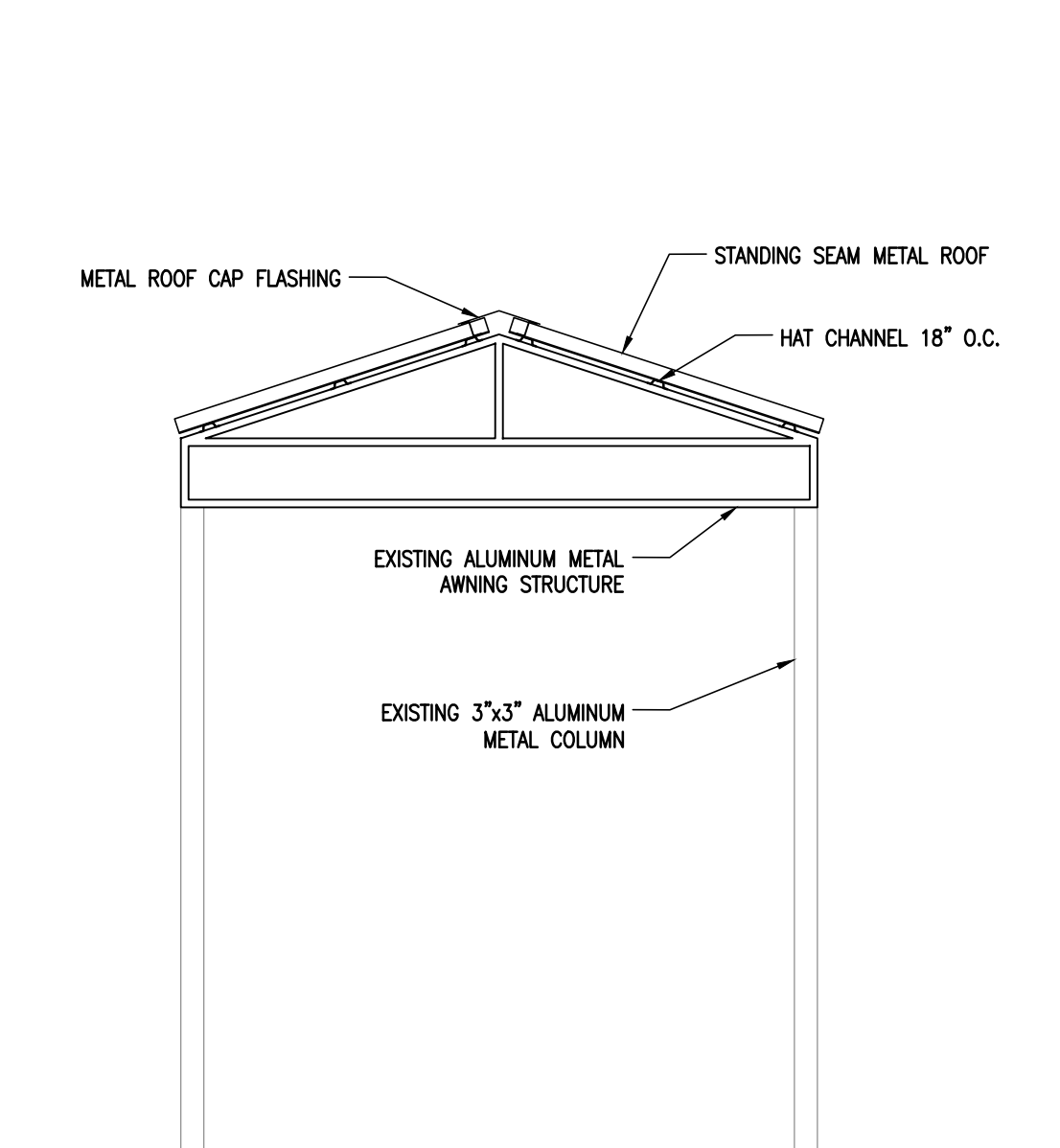
\*\*TAKEN FROM THE 2025 CLARK DIETRICH PRO STUD PRODUCT CATALOG FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON NON-LOAD BEARING WALL CONSTRUCTION.

5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	17'-1"
				16	15'-6"
				24	13'-6"
	PROSTUD 20 362PDS125-18	0.0190	70	12	18'-2"
				16	16'-10"
				24	15'-1"
PROSTUD 30 362PDS125-30	0.0312	33	12	20'-5"	
			16	18'-6"	
			24	16'-2"	
PROSTUD 33 362PDS125-33	0.0346	33	12	21'-2"	
			16	19'-2"	
			24	16'-9"	

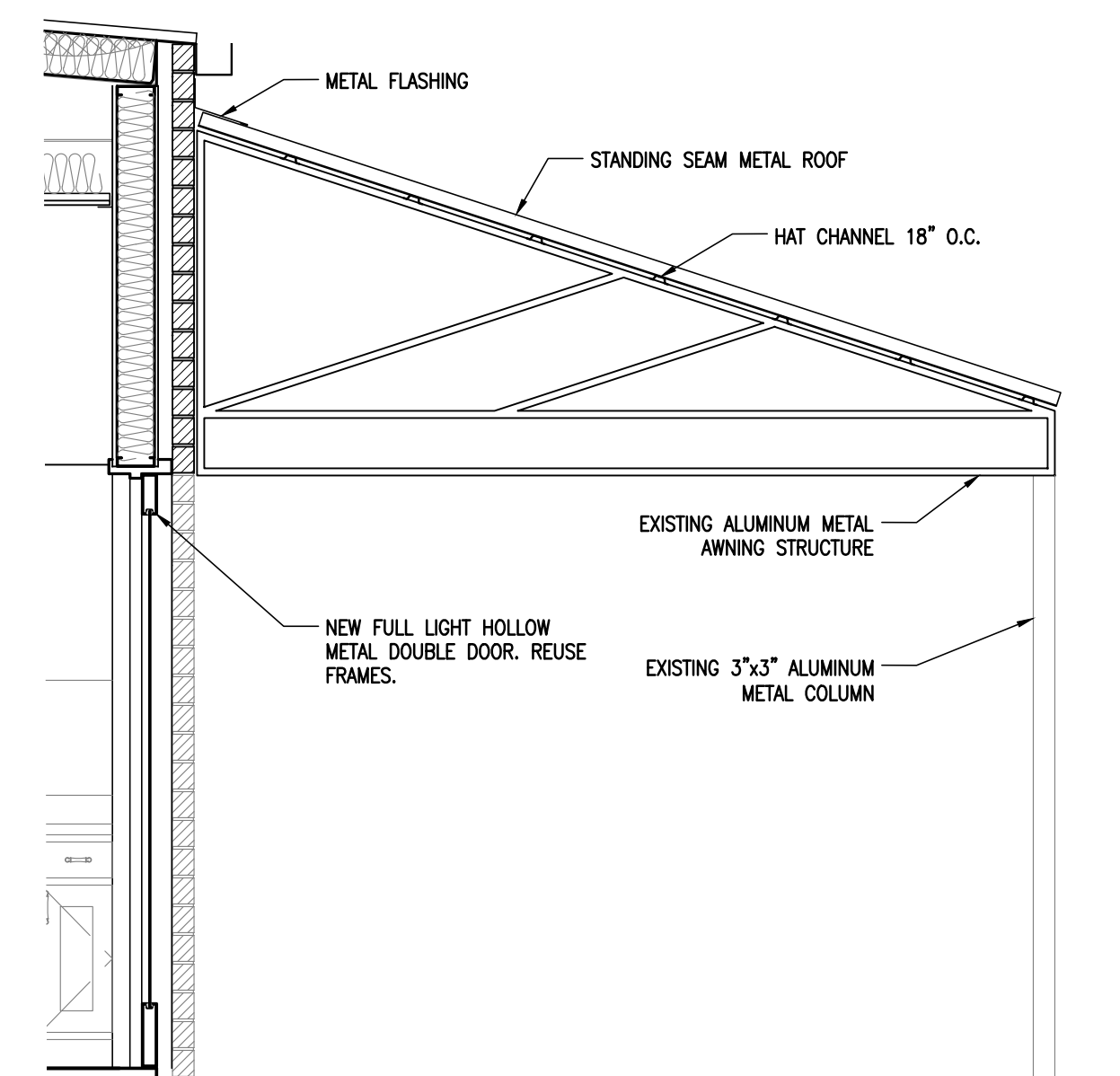
**PROSTUD NON-COMPOSITE  
LIMITING HEIGHTS** \*\*

\*\*TAKEN FROM THE 2025 CLARK DIETRICH PRO STUD PRODUCT CATALOG FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON NON-LOAD BEARING WALL CONSTRUCTION.

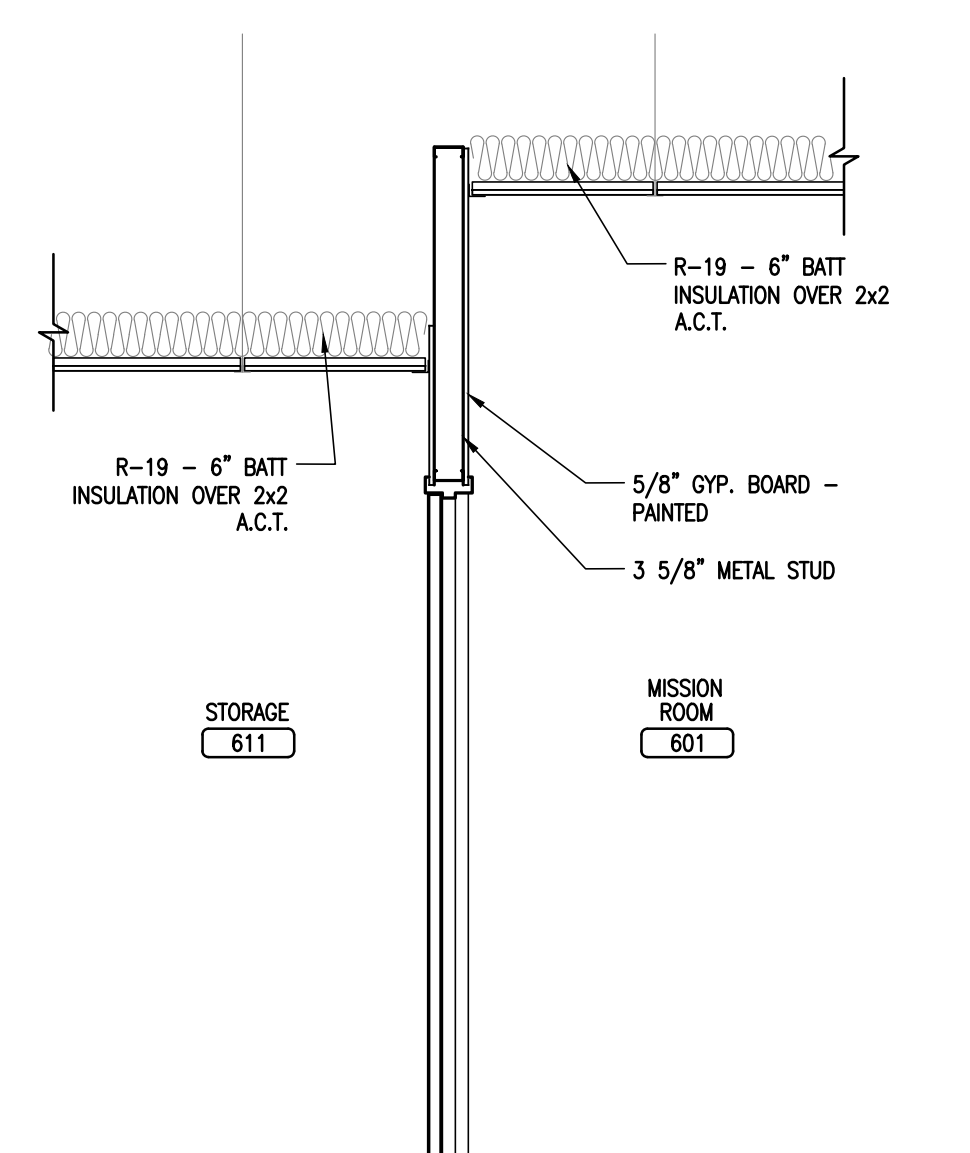
5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	12'-5"
				16	10'-9"
				24	8'-9"
	PROSTUD 20 362PDS125-18	0.0190	70	12	14'-6"
				16	13'-2"
				24	10'-9"
PROSTUD 30 362PDS125-30	0.0312	33	12	17'-4"	
			16	15'-9"	
			24	13'-9"	
PROSTUD 33 362PDS125-33	0.0346	33	12	17'-11"	
			16	16'-3"	
			24	14'-3"	



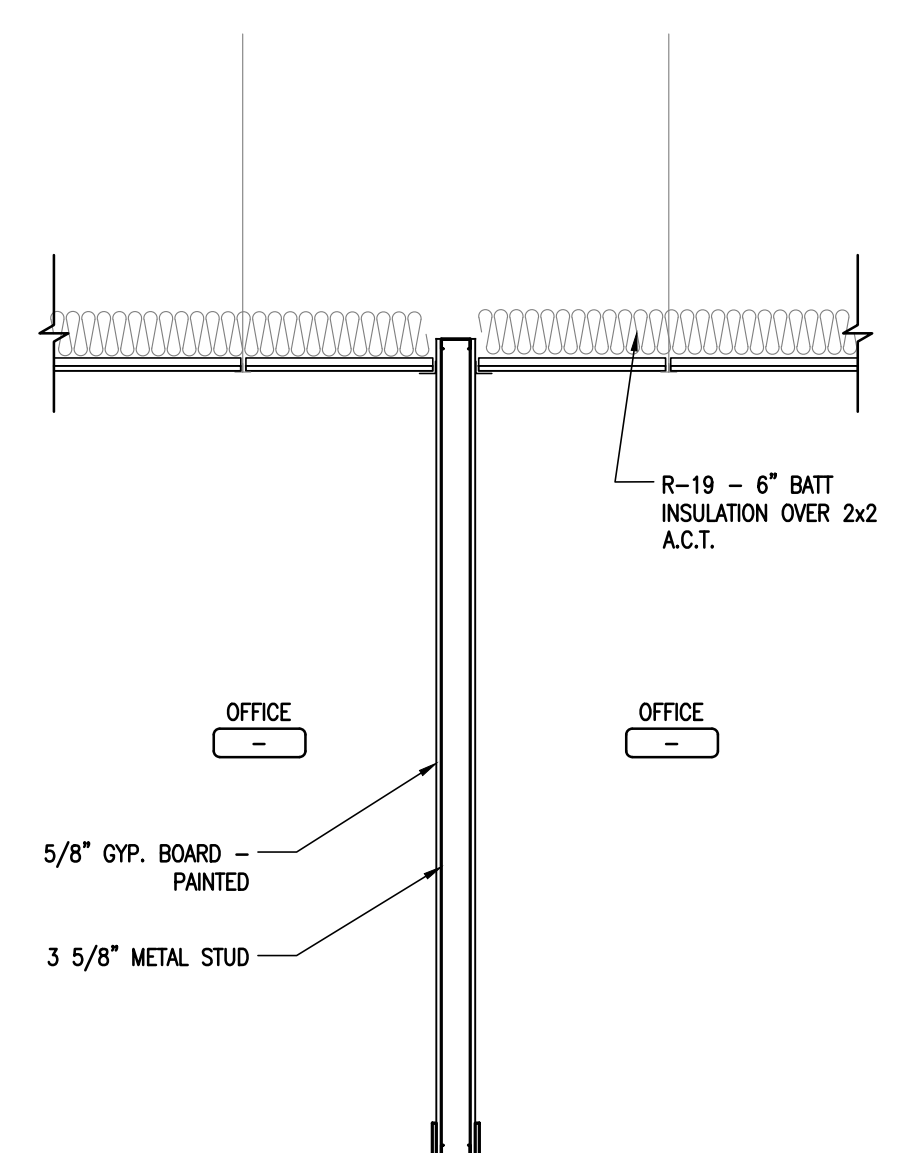
**09 CANOPY SECTION**  
A1.2 SCALE: 1/2"=1'-0"



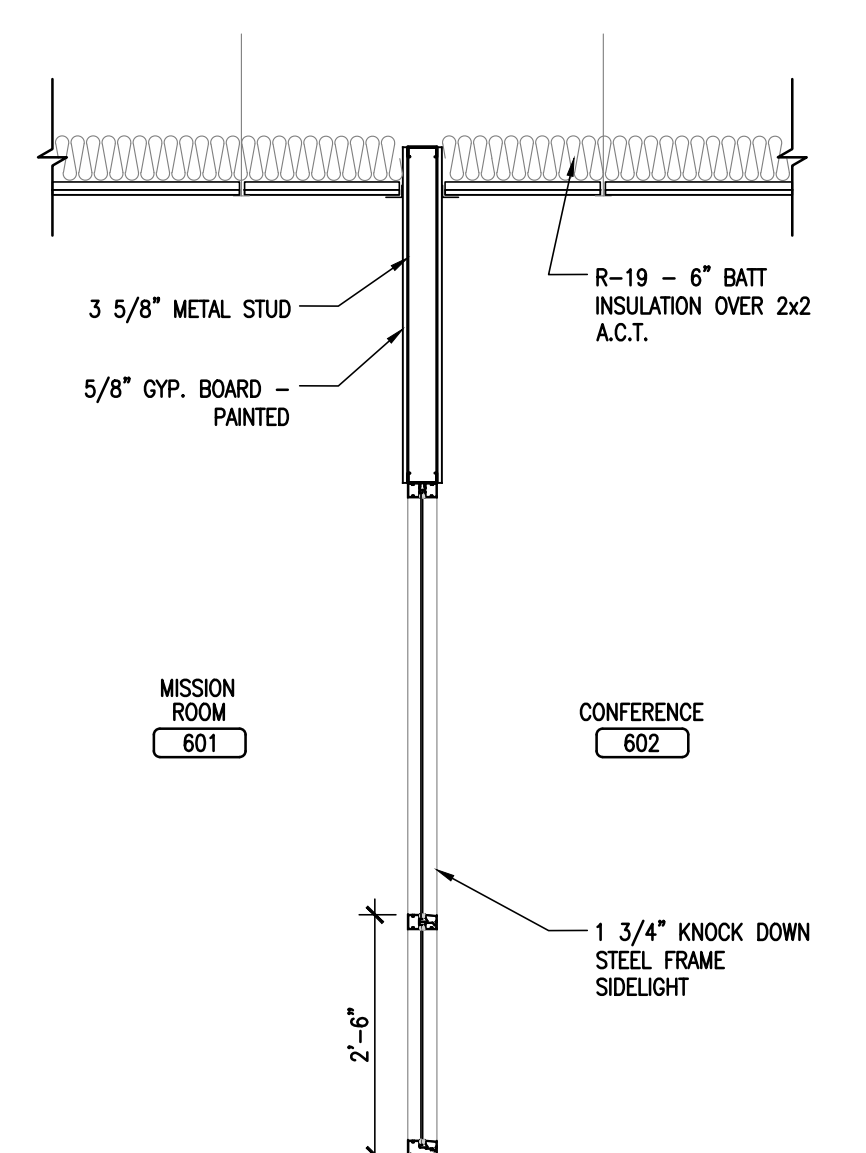
**08 CANOPY SECTION**  
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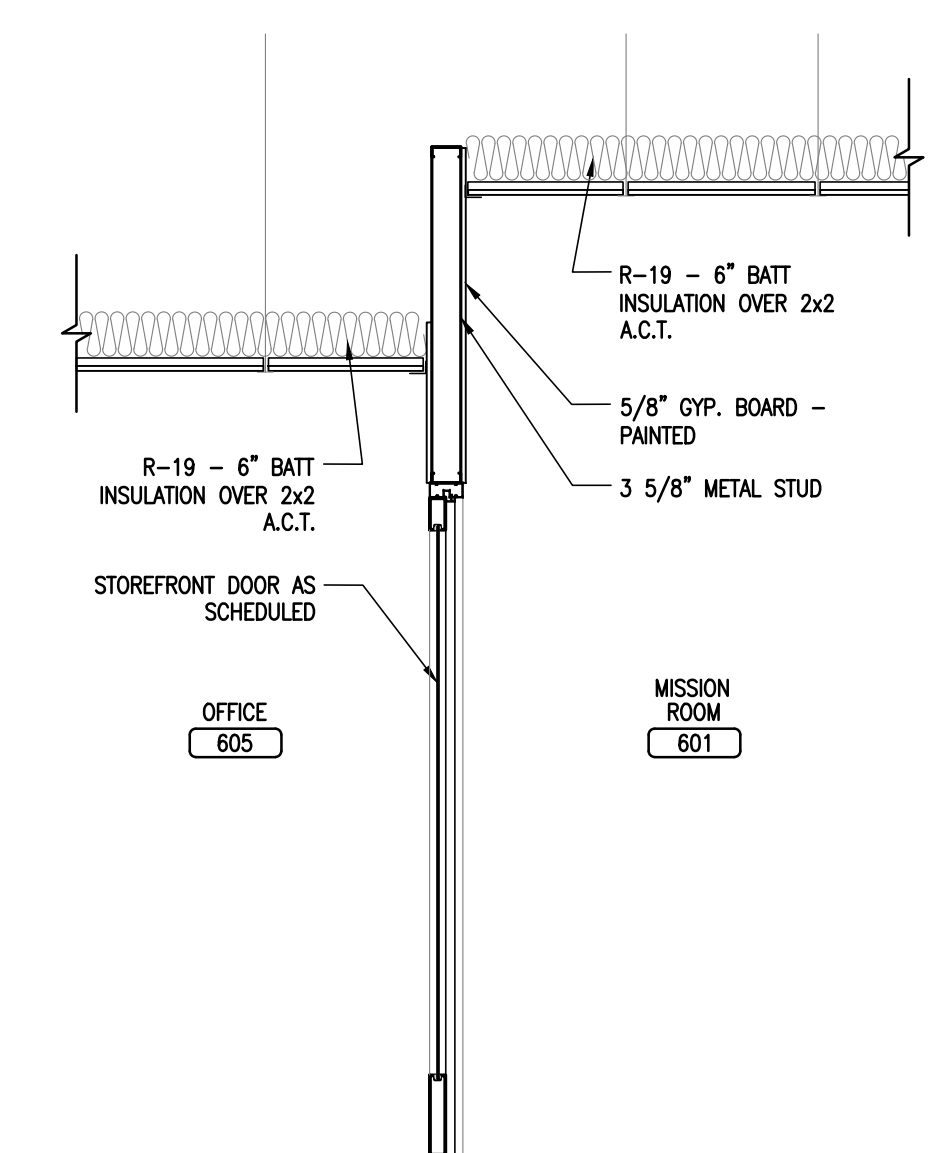
**07 WALL SECTION - TYP.**  
A1.2 SCALE: 1/2"=1'-0"



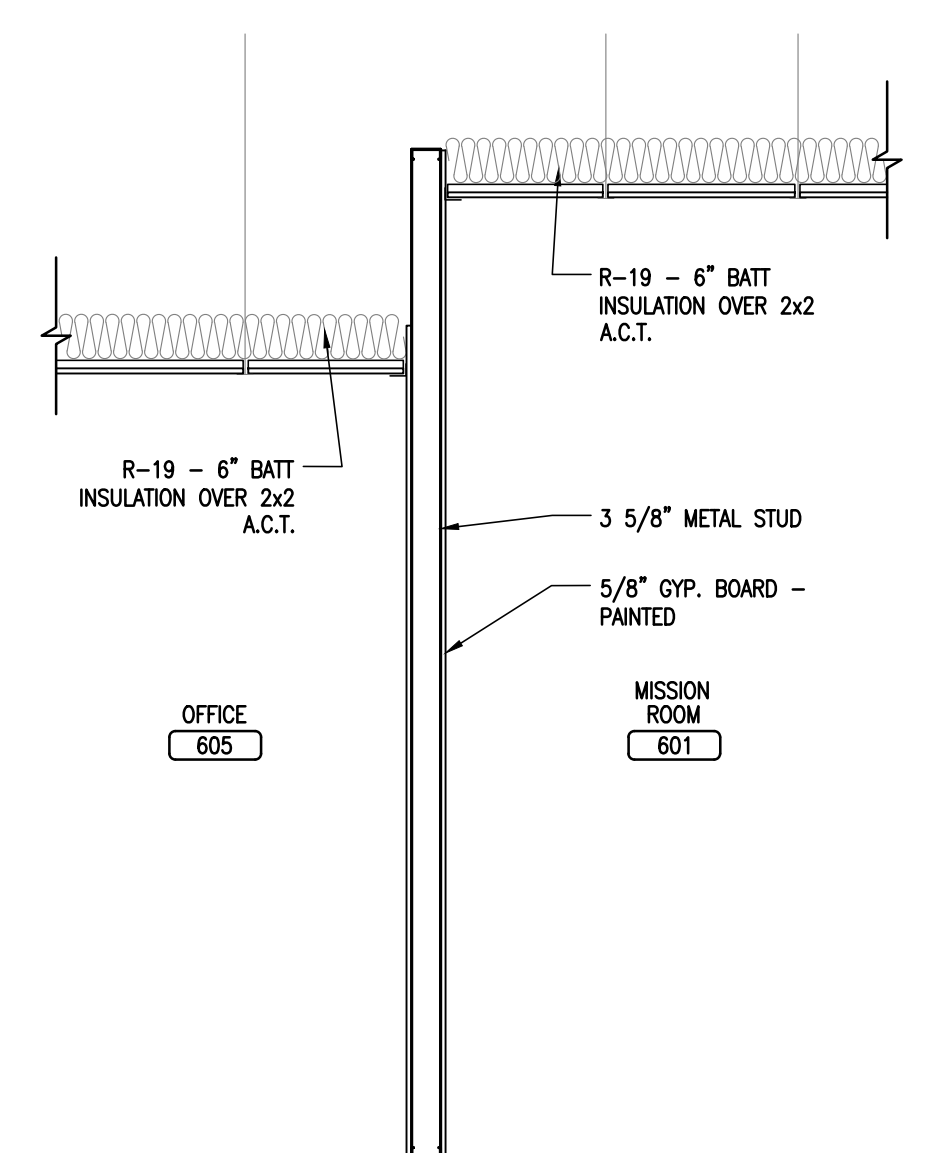
**06 WALL SECTION - TYP.**  
A1.2 SCALE: 1/2"=1'-0"



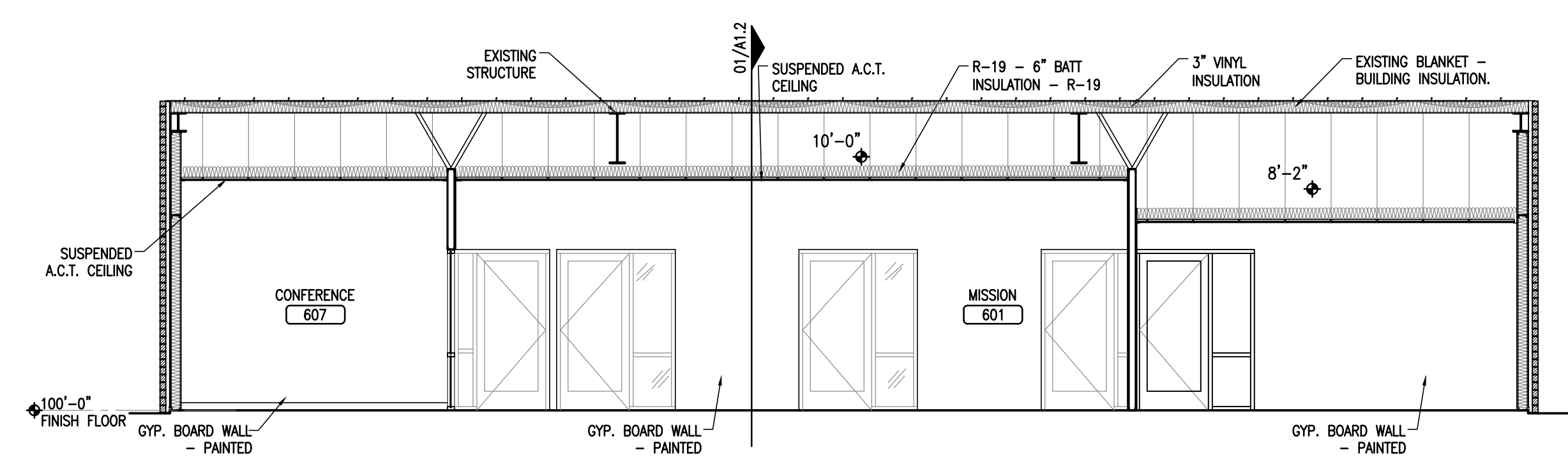
**05 WALL SECTION**  
A1.2 SCALE: 1/2"=1'-0"



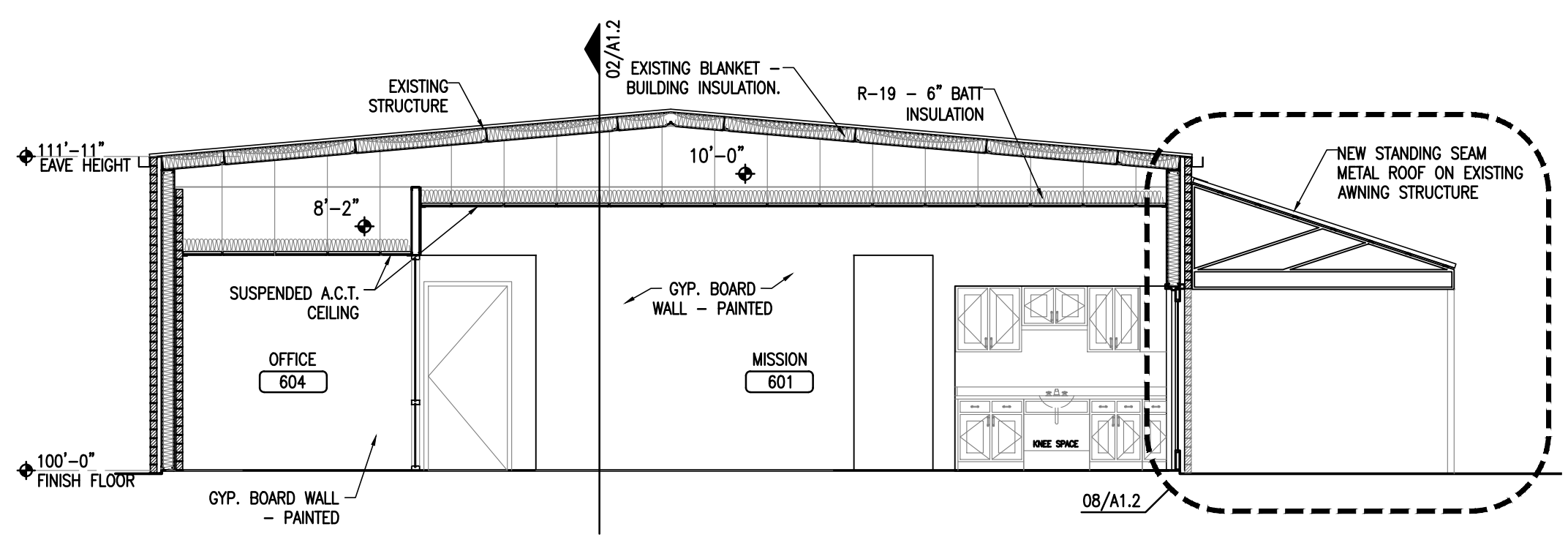
**04 WALL SECTION**  
A1.2 SCALE: 1/2"=1'-0"



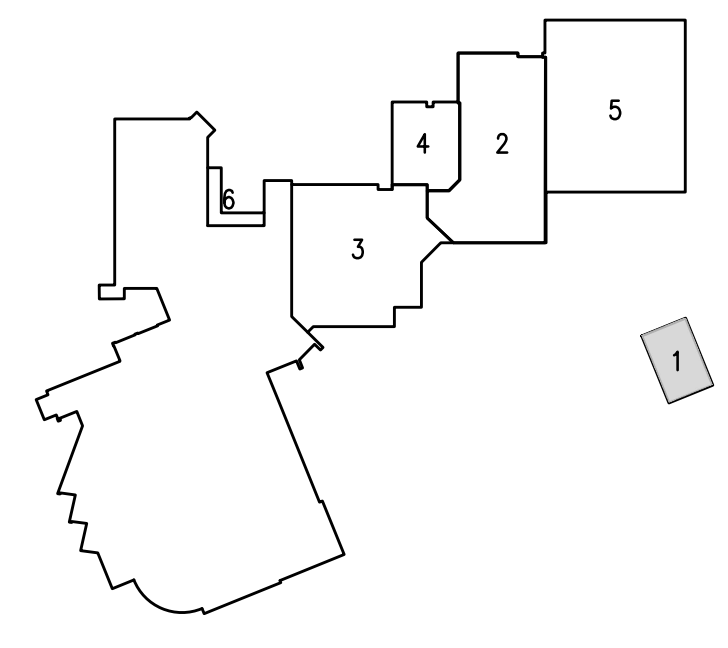
**03 WALL SECTION**  
A1.2 SCALE: 1/2"=1'-0"



**02 BUILDING SECTION**  
A1.2 SCALE: 3/16"=1'-0"

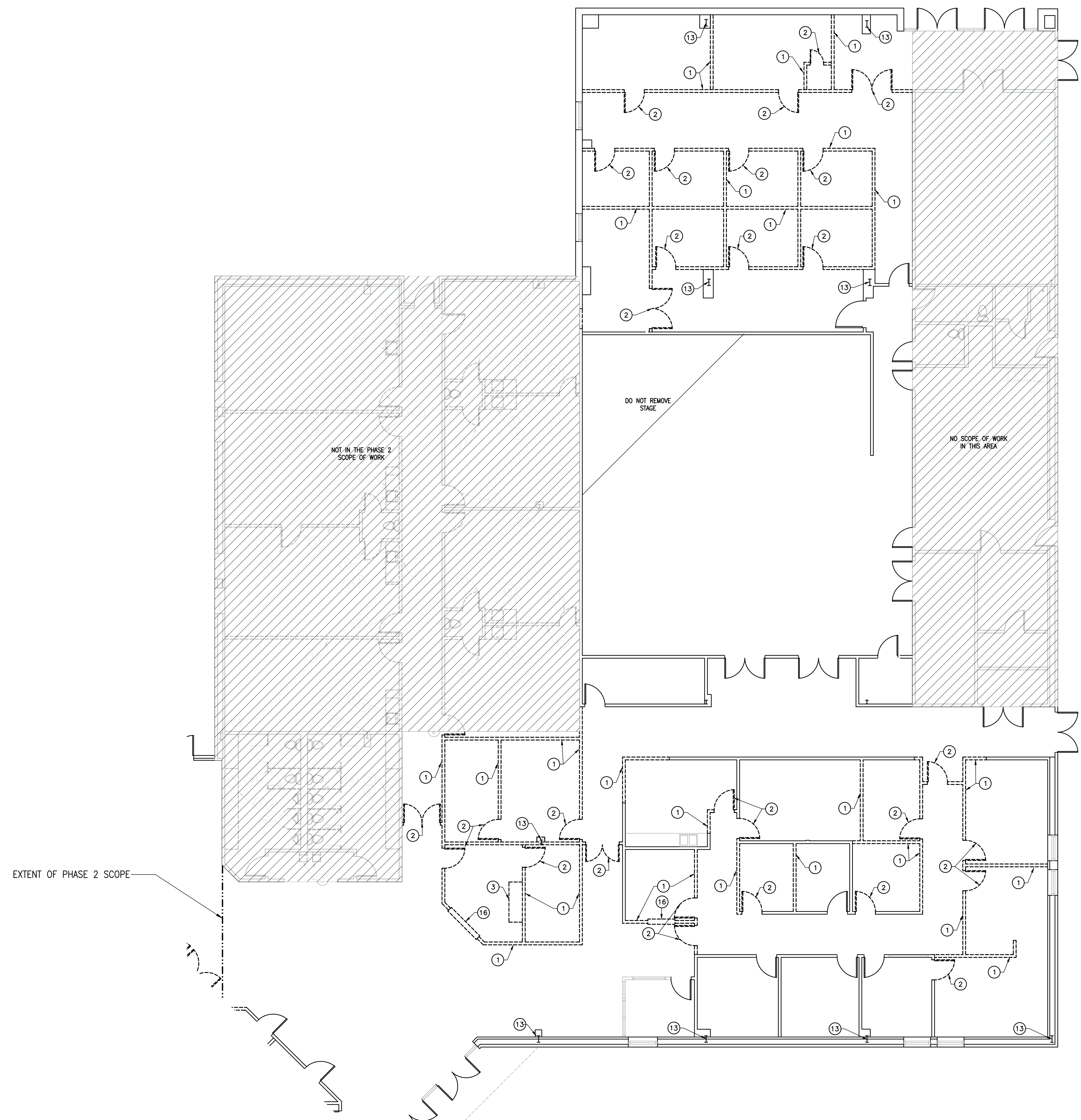


**01 BUILDING SECTION**  
A1.2 SCALE: 3/16"=1'-0"



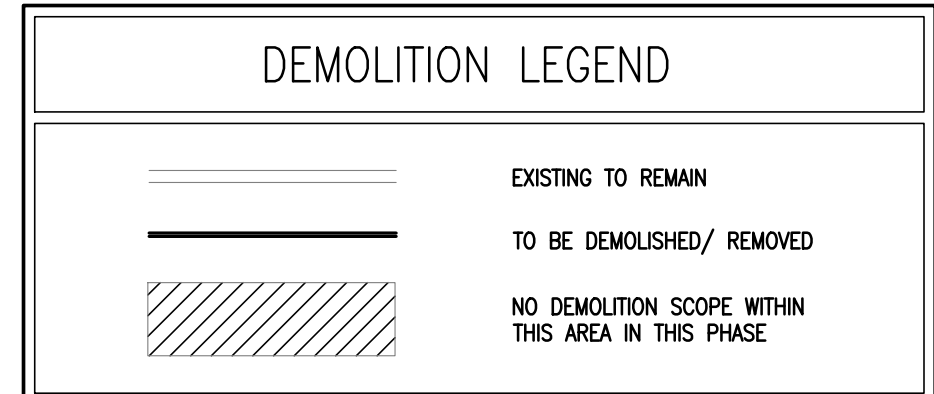
**KEY PLAN**  
NORTH





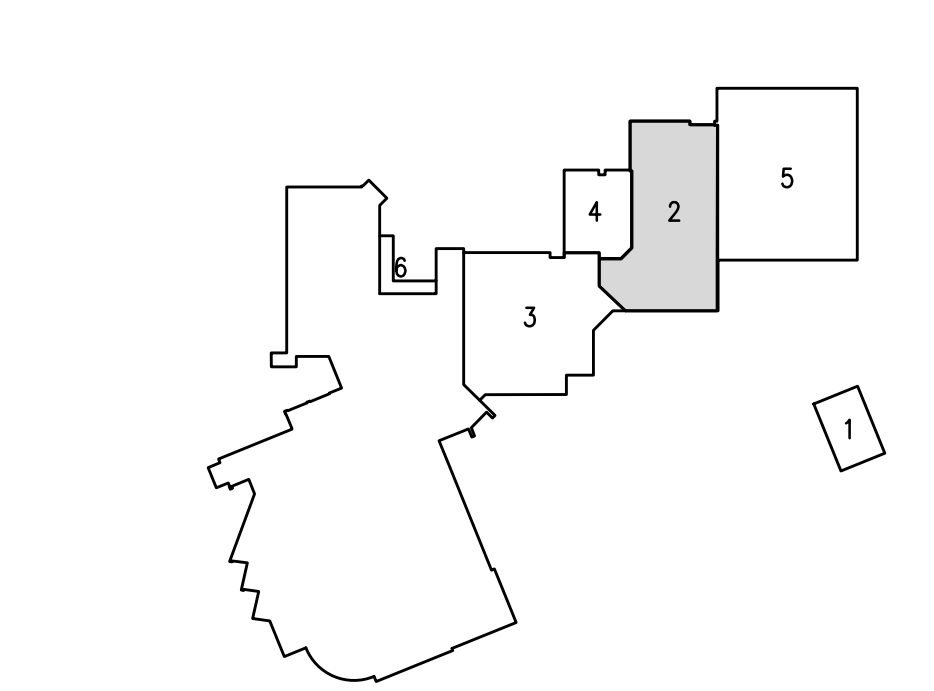
- ### GENERAL DEMOLITION NOTES
- REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
  - ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
  - REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
  - CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
  - COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
  - PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
  - PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
  - DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS. REFURBISH EXISTING DOORS AND FRAMES REUSED.
  - LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
  - MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
  - FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS. CONTRACTOR TO FIELD VERIFY.
  - REMOVE ALL FLOORING THROUGHOUT. U.O.N. FLOORING INCLUDES CARPET, WOOD FLOORING, VCT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
  - PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
  - ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.

- ### DEMOLITION NOTES BY NUMBERS ○
- REMOVE EXISTING WALL (DASHED).
  - REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
  - REMOVE EXISTING CABINETS.
  - REMOVE EXISTING WINDOW.
  - REMOVE EXISTING LIGHT FIXTURE(S).
  - REMOVE EXISTING PLUMBING FIXTURE.
  - REMOVE EXISTING LAY-IN CEILING.
  - EXISTING CEILING AND LIGHTING TO REMAIN.
  - REMOVE EXISTING TOILET PARTITIONS.
  - REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
  - REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
  - REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
  - STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
  - REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
  - REMOVE BAPTISTERY.
  - REMOVE ROLLING COUNTER SHUTTER.
  - REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
  - DISMANTLE AND REMOVE PORTABLE DESK.
  - REMOVE EXISTING STEEL DOOR(S) AND FRAME.
  - EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
  - CONDENSING UNIT TO BE REMOVED AND RELOCATED.



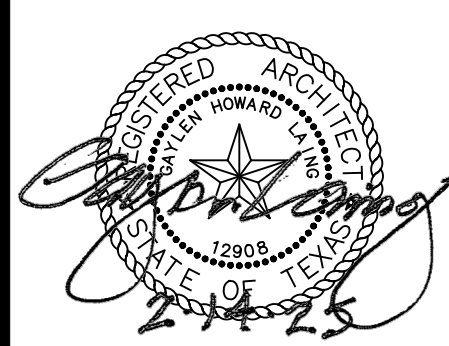
### AREA PER PHASE

PHASE 2	13,030 SQ. FT.
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EXTENT OF PHASE 2 SCOPE

**PHASE 2 DEMO PLAN**  
 SCALE: 1/8"=1'-0"  
 NORTH



DATE: 08/14/24  
 ISSUE:  
 REVISION:  
 SHEET TITLE:

PHASE 2  
 DEMO  
 FLOOR PLANS

**A2.0**



DATE: 08/14/24

ISSUE:

REVISION:

SHEET TITLE:

PHASE 2  
DEMO REFLECTED  
CEILING PLAN

**A2.1**

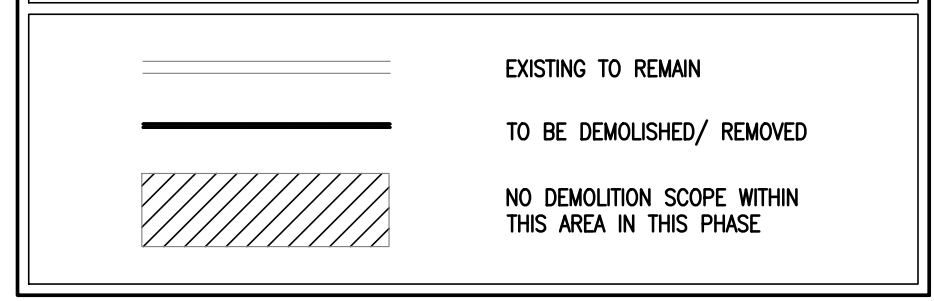
GENERAL DEMOLITION NOTES

- REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
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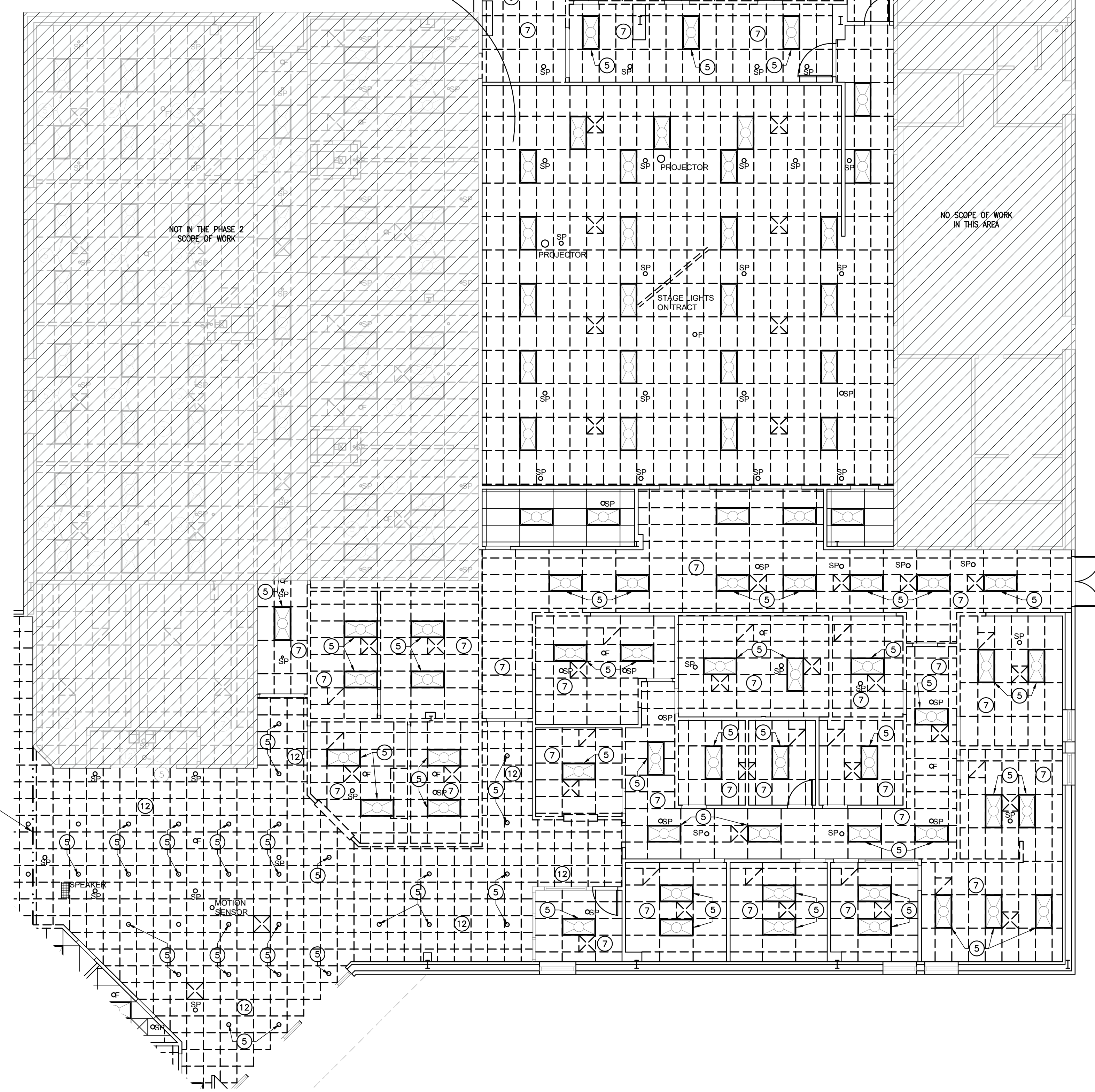
DEMOLITION NOTES BY NUMBERS ○

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- REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
- REMOVE EXISTING CABINETRY.
- REMOVE EXISTING WINDOW.
- REMOVE EXISTING LIGHT FIXTURE(S).
- REMOVE EXISTING PLUMBING FIXTURE.
- REMOVE EXISTING LAY-IN CEILING.
- EXISTING CEILING AND LIGHTING TO REMAIN.
- REMOVE EXISTING TOILET PARTITIONS.
- REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
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- EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
- CONDENSING UNIT TO BE REMOVED AND RELOCATED.

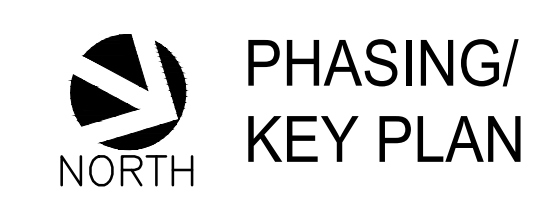
DEMOLITION LEGEND



NOTE:  
REUSE EXISTING SUSPENDED STAGE LIGHTS AND PROJECTOR  
IN FELLOWSHIP HALL.



EXTENT OF PHASE 2 SCOPE



PHASING/  
KEY PLAN

### P2 ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
125	OFFICE	CPT	VB	P	ACT	
126	OFFICE	CPT	VB	P	ACT	
127	OFFICE	CPT	VB	P	ACT	
128	OFFICE	CPT	VB	P	ACT	
129	OFFICE	CPT	VB	P	ACT	
130	OFFICE	CPT	VB	P	ACT	
131	OFFICE	CPT	VB	P	ACT	
132	OFFICE	CPT	VB	P	ACT	
133	CORRIDOR	LVP	VB	P	ACT	
139	CHILDREN'S CHECK-IN	LVP	VB	P	ACT	
140	OFFICE	CPT	VB	P	ACT	
200	NURSERY	CPT	VB	P	ACT	
201	NURSERY	CPT	VB	P	ACT	
202	TODDLERS	CPT	VB	P	ACT	
203	TODDLERS	CPT	VB	P	ACT	
206	JANITORS CLOSET	LVP	VB	P	ACT	
207	STORAGE	LVP	VB	P	ACT	
221	CORRIDOR	LVP	VB	P	ACT	
222	TOILET	LVP	VB	P	ACT	
500	FELLOWSHIP HALL	CPT	VB	P	ACT	
501	GYM/MULTI-PURPOSE	SC	VB	P	OPEN	
502	CORRIDOR	LVP	VB	P	ACT	

**FLOORING:**  
 CPT CARPET TILE  
 LVP LUXURY VINYL PLANK  
 ETR EXISTING TO REMAIN  
 FT PORCELAIN TILE  
 SC SEALED CONCRETE

**WALLS:**  
 P PAINT AND TEXTURE ON GYP. BD.  
 CT PORCELAIN TILE  
 EPX EPOXY PAINT COATING

**BASE:**  
 VB VINYL BASE  
 P PAINT AND TEXTURE ON GYP. BD.  
 ACT LAY-IN ACOUSTICAL TILE

**CEILING:**  
 P PAINT AND TEXTURE ON GYP. BD.  
 ACT LAY-IN ACOUSTICAL TILE

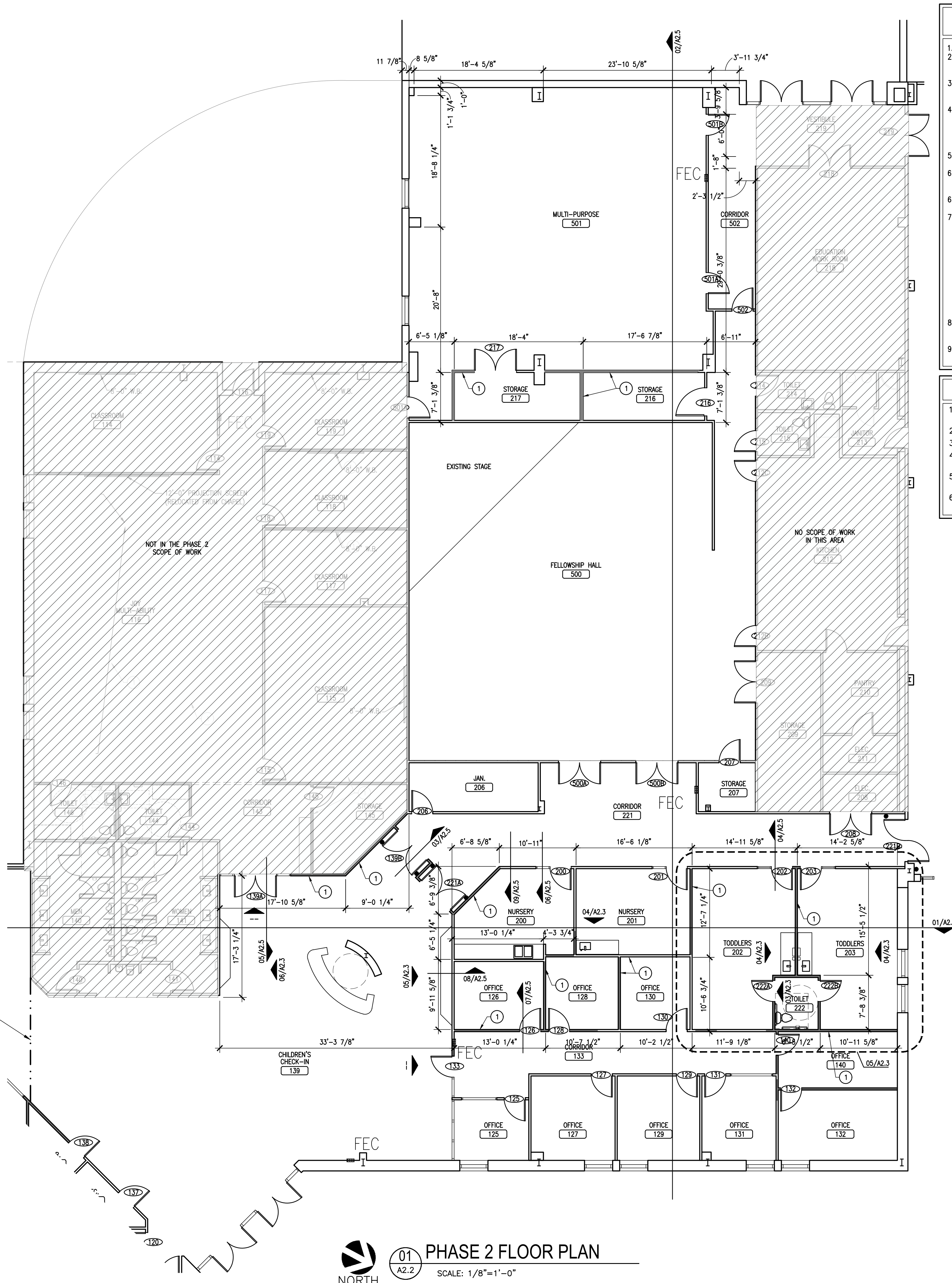
**GENERAL NOTES:**  
 1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.  
 2. BASE IN BATHROOMS SHALL BE 4" TALL.

### P2 DOOR SCHEDULE

DOOR NO.	TYPE	SIZE	MATL	FRAME	FIRE	HW
125	-	3'-0" X 7'-0"	WD	D	-	EXIST.
126	5	3'-0" X 7'-0"	WD	D	STL	1
127	-	3'-0" X 7'-0"	WD	D	-	EXIST.
128	6	3'-0" X 7'-0"	WD	D	STL	1
129	-	3'-0" X 7'-0"	WD	D	-	EXIST.
130	-	3'-0" X 7'-0"	WD	D	-	EXIST.
131	-	3'-0" X 7'-0"	WD	D	-	EXIST.
132	5	3'-0" X 7'-0"	WD	D	STL	1
133	7	3'-0" X 7'-0"	ALUM	G ALUM	-	-
139A	6	(2)3'-0" X 7'-0"	WD	E STL	-	13
139B	6	(2)3'-0" X 7'-0"	WD	F STL	-	7
140	5	3'-0" X 7'-0"	WD	D STL	-	1
200	5	3'-0" X 7'-0"	WD	C STL	-	2
201	5	3'-0" X 7'-0"	WD	C STL	-	2
202	5	3'-0" X 7'-0"	WD	C STL	-	2
203	5	3'-0" X 7'-0"	WD	C STL	-	2
206	-	3'-0" X 7'-0"	WD	-	-	EXIST.
207	-	3'-0" X 7'-0"	WD	-	-	EXIST.
208	-	(2)3'-0" X 7'-0"	WD	-	-	EXIST.
216	-	4'-0" X 7'-0"	WD	-	-	EXIST.
217	6	(2)3'-0" X 7'-0"	WD	F STL	-	8
219A	-	(2)3'-0" X 7'-0"	WD	-	-	EXIST.
221A	6	(2)3'-0" X 7'-0"	WD	F STL	-	7
221B	6	(2)3'-0" X 7'-0"	WD	B STL	-	90 MIN 7
222A	5	3'-0" X 7'-0"	WD	D STL	-	4
222B	5	3'-0" X 7'-0"	WD	D STL	-	4
500A	-	(2)3'-0" X 7'-0"	WD	-	-	EXIST.
500B	-	(2)3'-0" X 7'-0"	WD	-	-	EXIST.
501A	5	3'-0" X 7'-0"	WD	D STL	-	12
501B	5	3'-0" X 7'-0"	WD	D STL	-	12
502	-	3'-0" X 7'-0"	WD	-	-	EXIST.

**GENERAL NOTES:**  
 1. ALL DOORS TO BE 1 3/4" U.N.O.  
 2. EXIT DEVICES SHALL COME WITH LOCKING LOCKSET ON OPPOSING SIDE OF DOOR  
 3. DOOR SURFACES WITHIN 10" OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR.

**DOOR/FRAME MATERIAL:**  
 PLAM PLASTIC LAMINATE CLAD | STL STEEL  
 HM HOLLOW/PRESSED METAL | ALUM ALUMINUM STOREFRONT METAL



### GENERAL FLOOR PLAN NOTES

- REFER TO MEP DRAWINGS FOR MORE INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE OWNER AND ARCHITECT OF ANY CONFLICT PRIOR TO THE COMMENCEMENT OF WORK.
- PROVIDE WOOD BLOCKING FOR ALL ITEMS OR EQUIPMENT FASTENING INTO DRYWALL PARTITIONS, TYPICAL FOR TV LOCATIONS, PROVIDE 12" HIGH X 16" WIDE BLOCKING W/ CENTER AT 60" A.F.F. FOR BEDSIDE TV'S PROVIDE BLOCKING AS RECOMMENDED BY MANUFACTURER
- ALL PUBLIC USE DOORS SHALL HAVE HC ACCESSIBLE CLEAR FLOOR SPACE. NOTIFY ARCHITECT OF ANY CONFLICT TO COMPLIANCE.
- REFER TO SHEET G2.1 & G2.2 FOR ACCESSIBILITY REQUIREMENT INCLUDING CLEAR FLOOR SPACE, MOUNTING HEIGHTS, CABINET CLEARANCES, ETC... THAT MUST BE MAINTAINED.
- SEAL ALL PENETRATIONS IN RATED ASSEMBLIES TO MAINTAIN THE REQUIRED RATING.
- WHERE WALLS AND PARTITIONS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATED ASSEMBLY, STEEL ELECTRICAL BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY THE FOLLOWING:
  - BY HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES.
  - BY SOLID FIRE BLOCKING IN ACCORDANCE WITH SECTION 717.2.1 OF 2018 INTERNATIONAL BUILDING CODE, WHICH STATES THAT FIRE BLOCKING MATERIALS SHALL CONSIST OF 2-INCH NOMINAL LUMBER.
  - BY PROTECTING BOTH OUTLET BOXES WITH LISTED PUTTY PADS.
- WHERE OCCUPIED SPACES ARE OPEN TO DECK, EXPOSED STRUCTURE, PIPE, DUCTWORK, AND DRYWALL SHALL BE PREPARED FOR PAINT.
- FLOORING TRANSITIONS BETWEEN ROOMS SHALL OCCUR BENEATH DOORS IN THE CLOSED POSITIONS, TYP.

### FLOOR PLAN NOTES BY NUMBER

- NEW METAL FRAMED WALL. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
- NEW ALUMINUM FRAME AND GLASS PARTITION WALLS
- NEW EXTERIOR INFILL WALL TO MATCH EXISTING..
- RELOCATE EXISTING STOREFRONT DOOR & WINDOW UNITS.
- EXTEND NEW & EXISTING WALLS FULL HEIGHT TO DECK.
- REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW WALL CONFIGURATION.

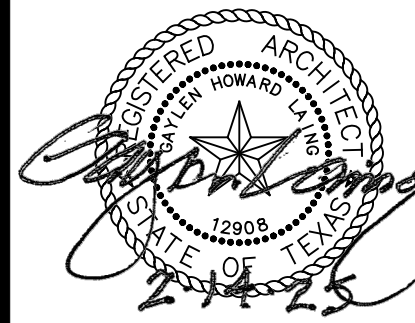
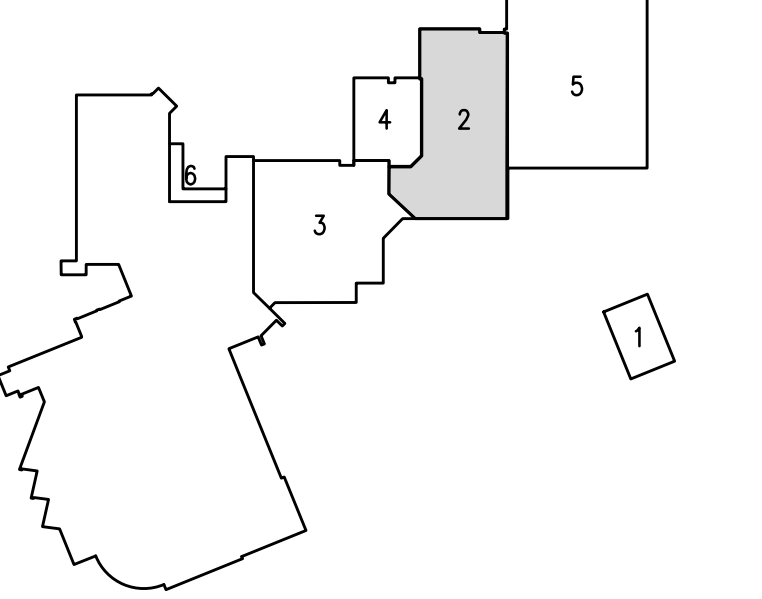
### TOILET ACCESSORIES

TA1	EMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
TA2	TOILET TISSUE DISPENSER - DOUBLE ROLL
TA3	36" GRAB BAR
TA4	42" GRAB BAR
TA5	AUTOMATIC SOAP DISPENSER - DECK MOUNTED
TA6	SANITARY NAPKIN DISPOSAL UNIT
TA7	24" X 36" WALL MOUNTED MIRROR
TA8	SOAP DISPENSER - WALL MOUNTED
TA9	UNFRAMED MIRROR

SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13

### CLEAR FLOOR SPACE

- 1 60" TURNING DIAMETER
- 2 30" X 48" CLEAR FLOOR SPACE
- 3 60" X 56" CLEAR FLOOR SPACE
- 4 48" X 60" CLEAR FLOOR SPACE
- 5 36" X 48" CLEAR FLOOR SPACE
- 6 36" X 60" CLEAR FLOOR SPACE
- 7 42" X 58" CLEAR FLOOR SPACE
- 8 54" X 60" CLEAR FLOOR SPACE
- 9 48" X 48" CLEAR FLOOR SPACE
- 10 58" X 42" CLEAR FLOOR SPACE



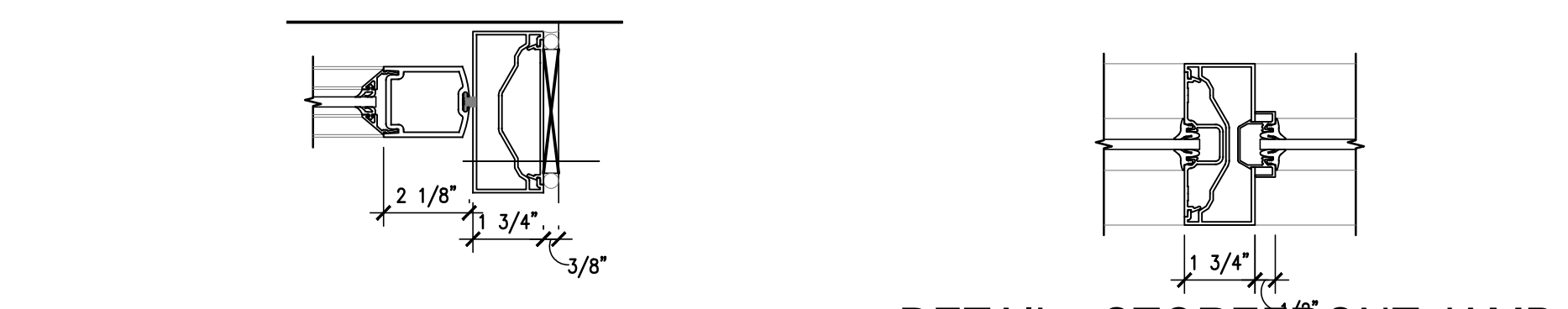
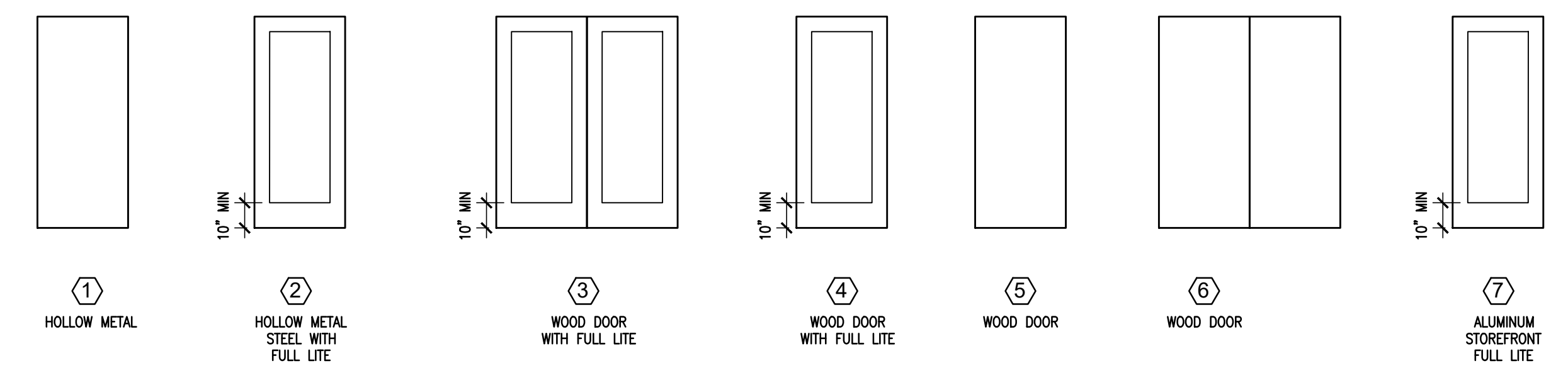
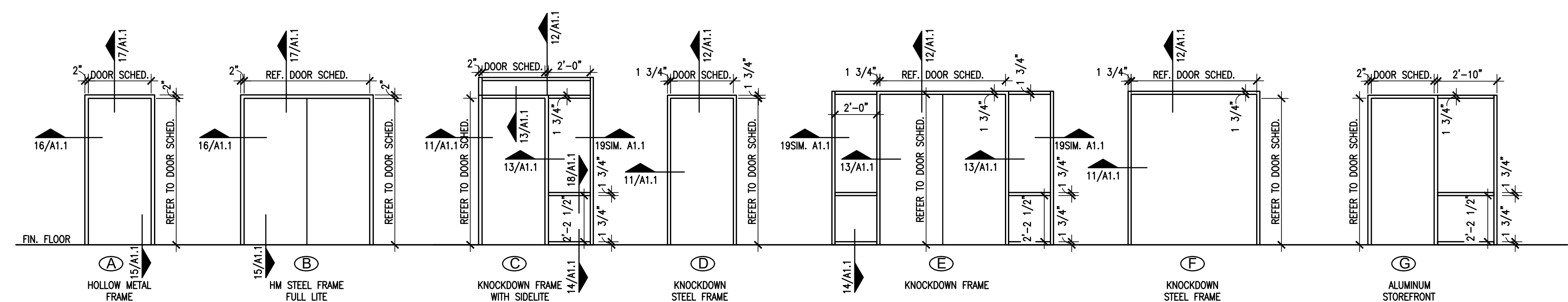
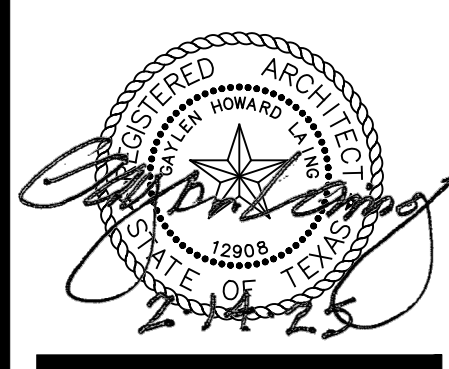
DATE: 08/14/24  
 ISSUE:  
 REVISION:  
 SHEET TITLE:

PHASE 2  
 FLOOR PLAN

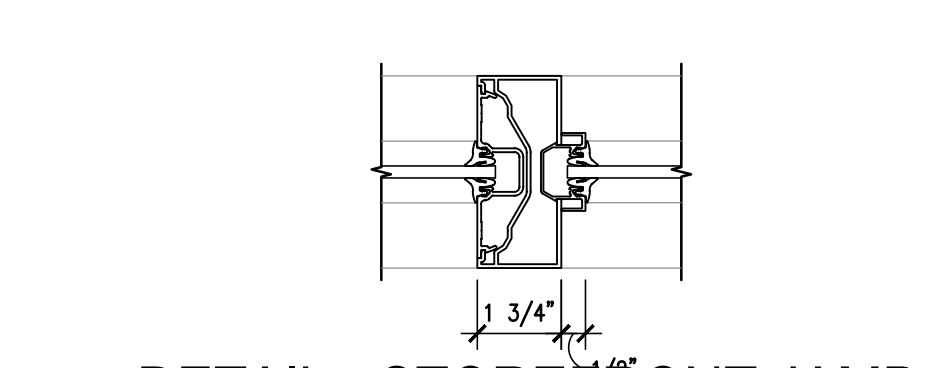
PHASING/  
 KEY PLAN

# A2.2

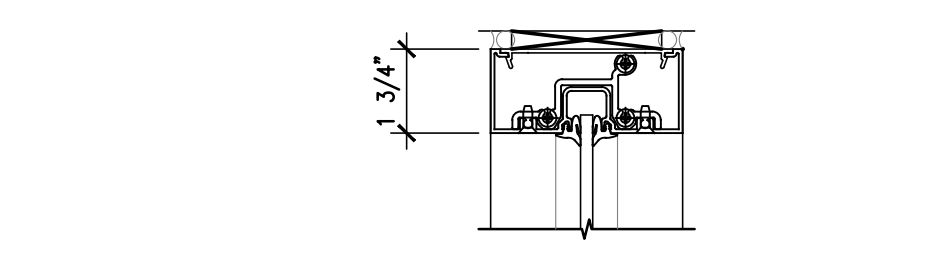
01 PHASE 2 FLOOR PLAN  
 A2.2 SCALE: 1/8"=1'-0"



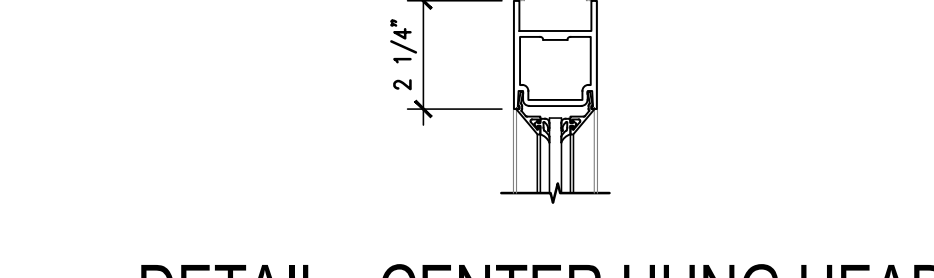
14 DETAIL - STOREFRONT JAMB IN SIDELITE  
SCALE: 3/8"=1'-0"



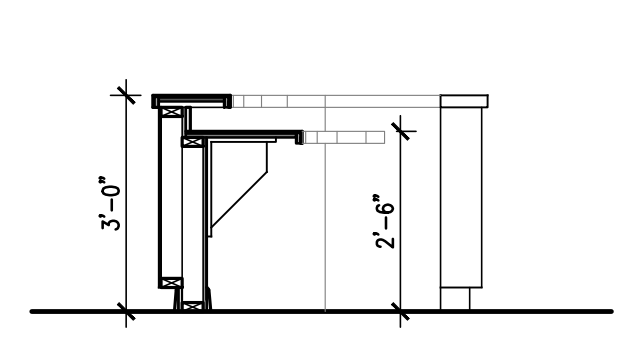
13 DETAIL - STOREFRONT JAMB IN SIDELITE  
SCALE: 3/8"=1'-0"



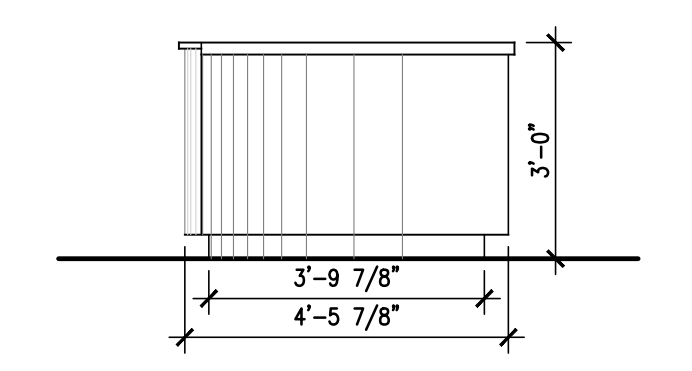
12 DETAIL - SIDELITE HEAD  
SCALE: 3/8"=1'-0"



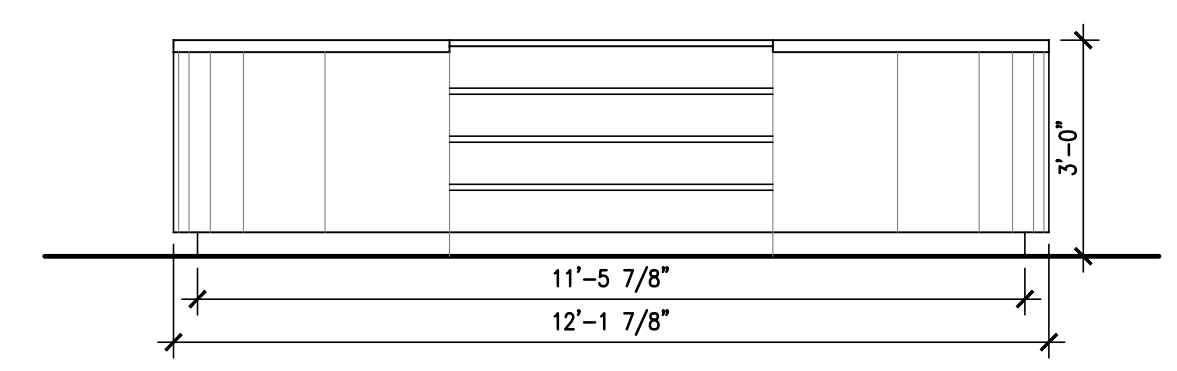
11 DETAIL - CENTER HUNG HEADER FOR CONCEALED CLOSER  
SCALE: 3/8"=1'-0"



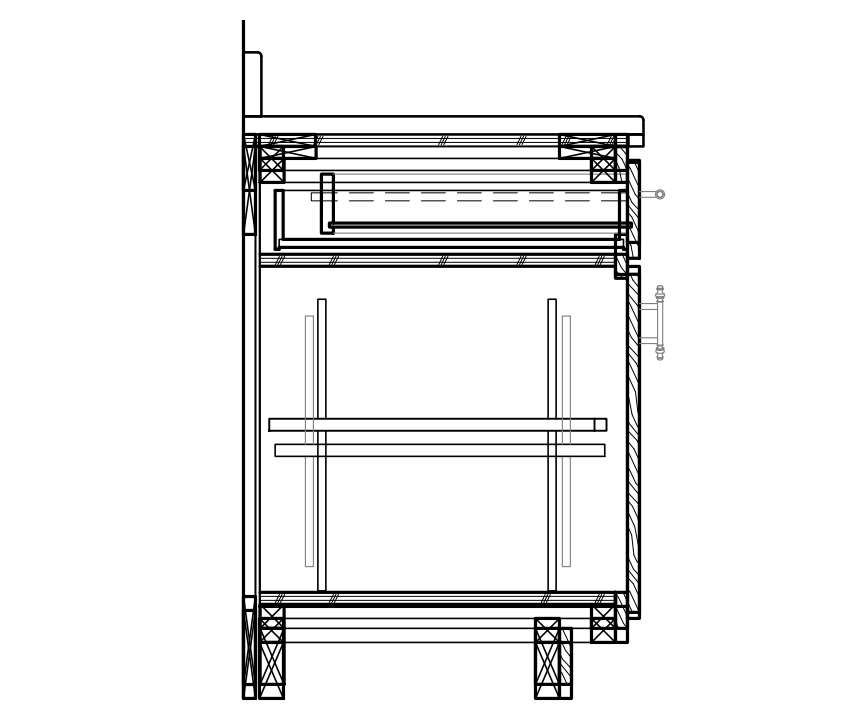
09 SECTION - RECEPTION DESK  
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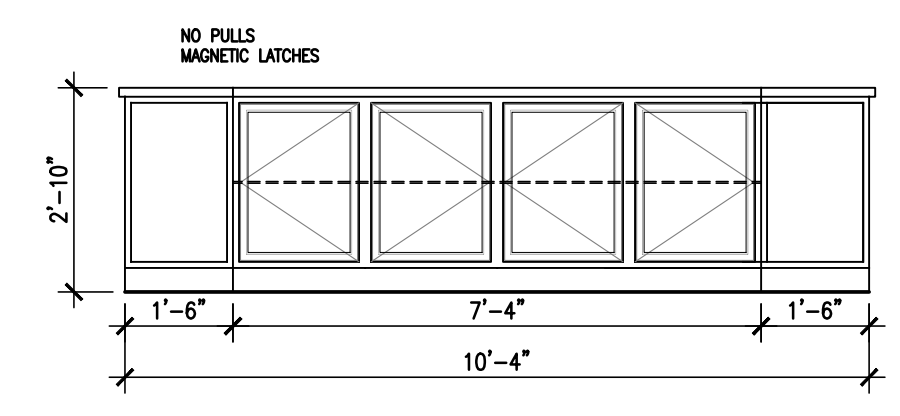
08 INT. ELEVATION - RECEPTION DESK  
SCALE: 3/8"=1'-0"



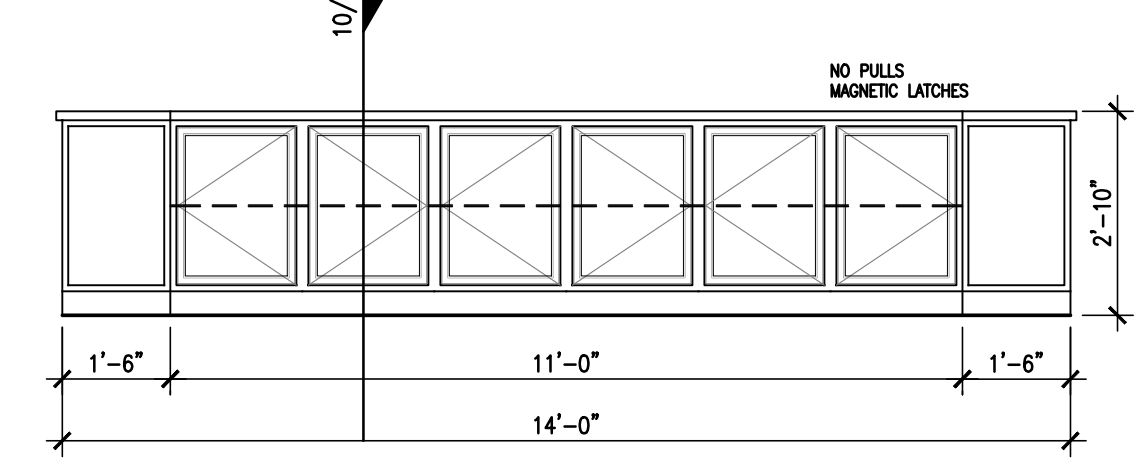
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SCALE: 3/8"=1'-0"



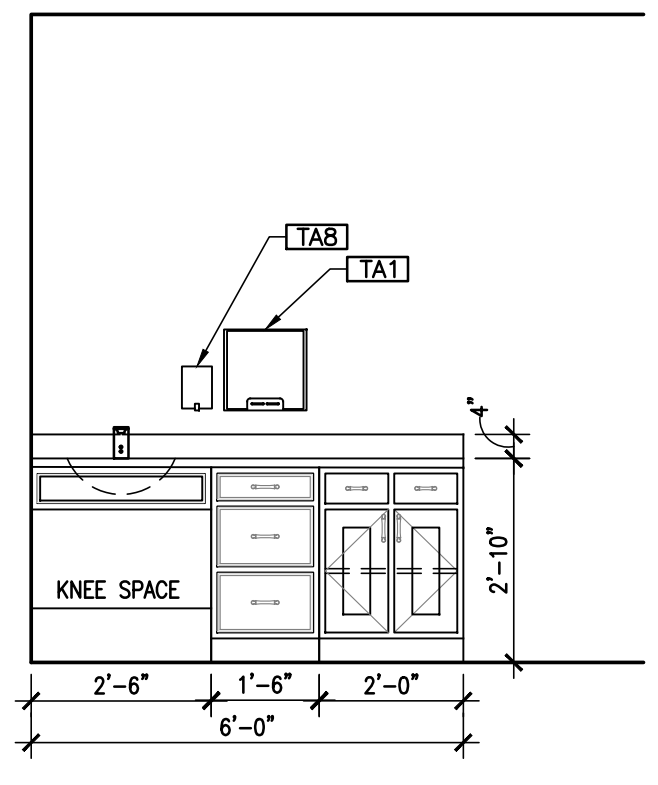
10 SECTION - CABINETS  
SCALE: 1/4"=1'-0"



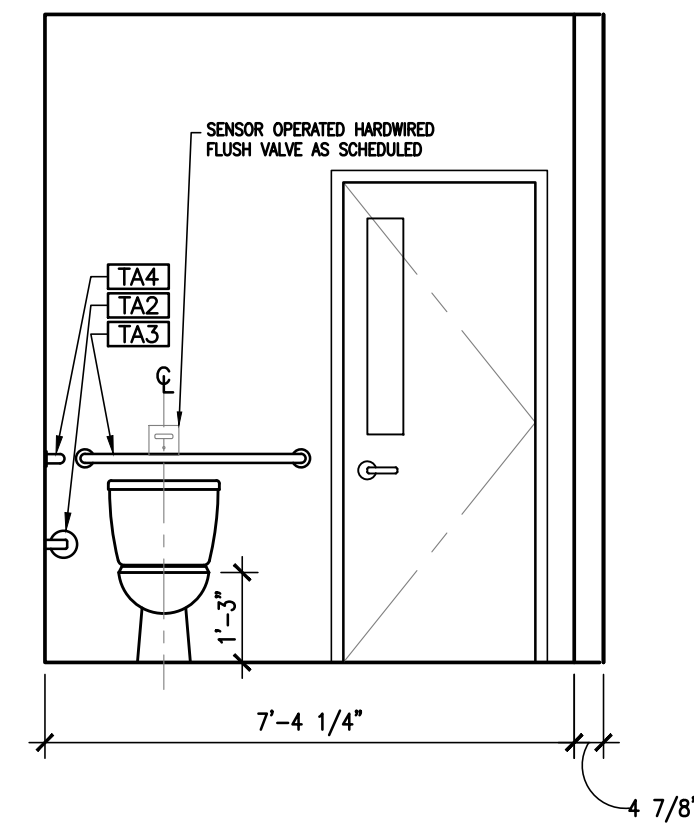
06 INT. ELEVATION - CABINETS  
SCALE: 3/8"=1'-0"



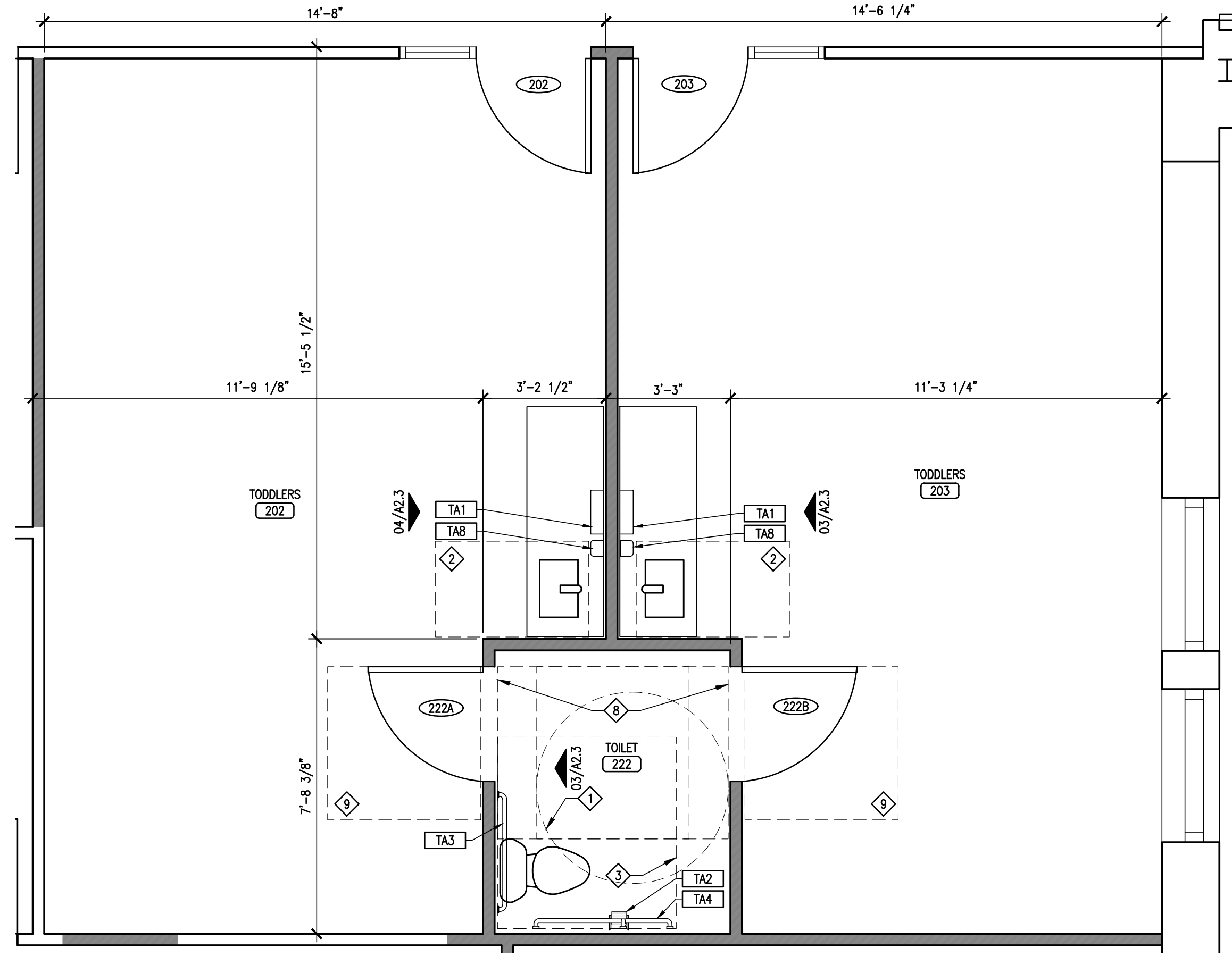
05 INT. ELEVATION - CABINETS  
SCALE: 3/8"=1'-0"



04 INT. ELEVATION  
SCALE: 3/8"=1'-0"



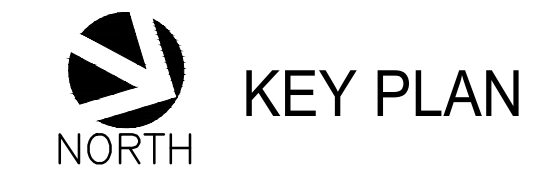
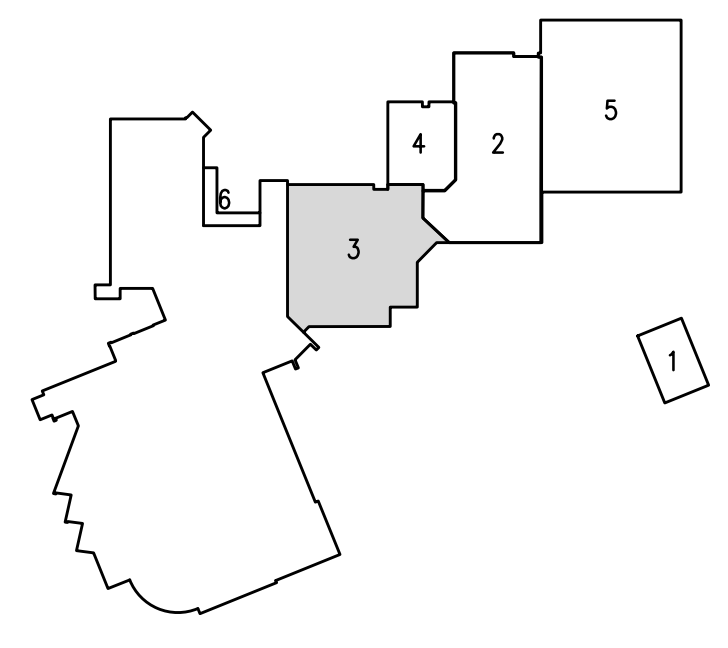
03 INT. ELEVATION - TOILET  
SCALE: 3/8"=1'-0"

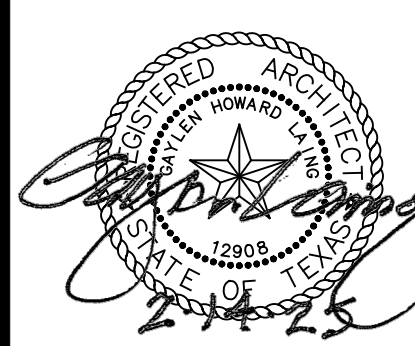


01 ENLARGED FLOOR PLAN  
SCALE: 3/8"=1'-0"

TOILET ACCESSORIES	
TA1	ENMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
TA2	TOILET TISSUE DISPENSER - DOUBLE ROLL
TA3	36" GRAB BAR
TA4	42" GRAB BAR
TA5	AUTOMATIC SOAP DISPENSER - DECK MOUNTED
TA6	SANITARY NAPKIN DISPOSAL UNIT
TA7	24" X 36" WALL MOUNTED MIRROR
TA8	SOAP DISPENSER - WALL MOUNTED
TA9	UNFRAMED MIRROR
SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13	

CLEAR FLOOR SPACE	
1	60" TURNING DIAMETER
2	30" x 48" CLEAR FLOOR SPACE
3	60" x 56" CLEAR FLOOR SPACE
4	48" x 60" CLEAR FLOOR SPACE
5	36" x 48" CLEAR FLOOR SPACE
6	36" x 60" CLEAR FLOOR SPACE
7	42" x 58" CLEAR FLOOR SPACE
8	54" x 60" CLEAR FLOOR SPACE
9	48" x 48" CLEAR FLOOR SPACE
10	58" x 42" CLEAR FLOOR SPACE





DATE: 08/14/24

ISSUE:  
-

REVISION:  
-

SHEET TITLE:

PHASE 2  
REFLECTED  
CEILING PLAN

**A2.4**

1300 WEST RANDOL MILL ROAD, ARLINGTON, TEXAS 76012  
817.801.7200  
www.ghila-inc.com

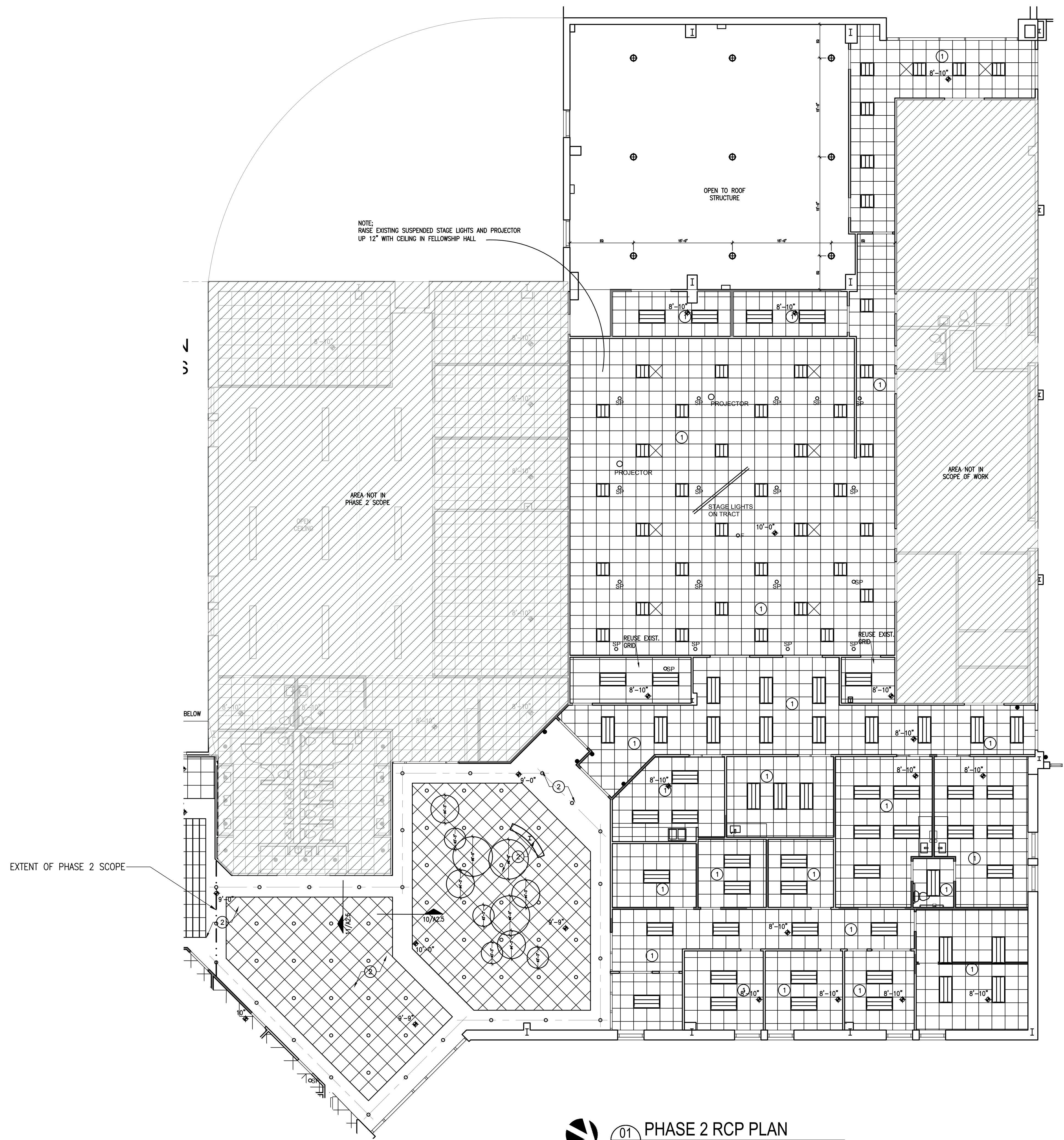
**GENERAL RCP NOTES**

- ALL 1 HOUR PARTITION WALLS SHALL TERMINATE TO THE BOTTOM OF THE 1-HOUR ROOF/CEILING ASSEMBLY.
- ALL PENETRATIONS THROUGH RATED WALLS SHALL BE FIRE-STOPPED AS REQUIRED TO MAINTAIN WALL RATING.
- COORDINATE LIGHT FIXTURE LOCATIONS WITH DOORS, MECHANICAL EQUIPMENT AND FIRE SPRINKLERS. NOTIFY THE ARCHITECT IF THERE IS A DISCREPANCY.
- RELOCATE EXISTING HVAC AIR DEVICES AS REQUIRED. EXTEND OR OTHERWISE MODIFY DUCTWORK TO MAINTAIN PROPER PERFORMANCE OF THE SYSTEM.
- RELOCATE FIRE SUPPRESSION SPRINKLER HEADS AS REQUIRED. EXTEND OR MODIFY PIPING AS REQUIRED TO RESULT IN A CODE COMPLIANT SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE ENGINEERED DESIGN AND SUBMIT TO THE CITY FOR APPROVAL.

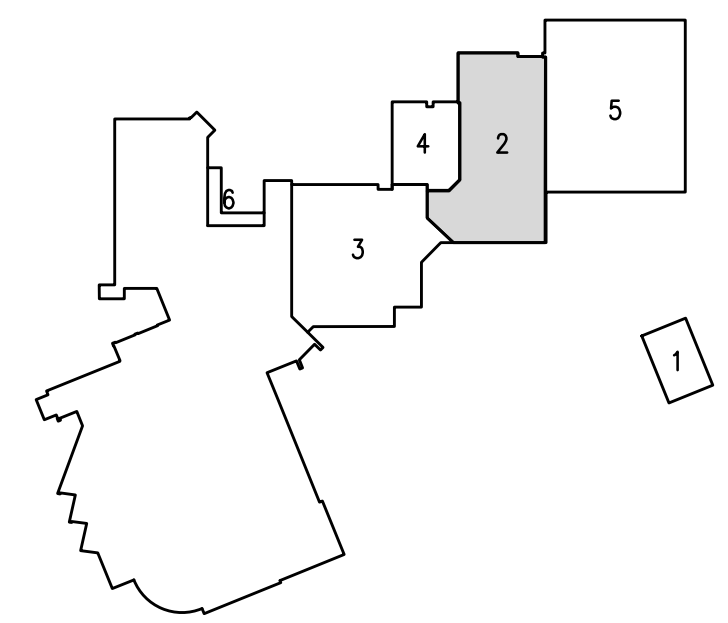
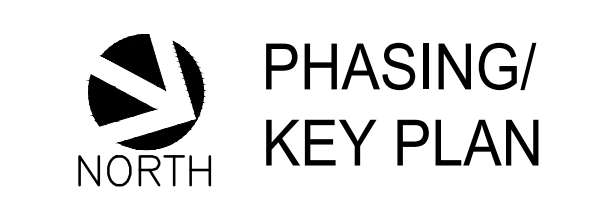
**RCP LEGEND**

	2x4 LAY-IN TROFFER LED LIGHT FIXTURE
	2x2 LAY-IN TROFFER LED LIGHT FIXTURE
	SURFACE MOUNT LED LIGHT FIXTURE
	WALL PACK
	SCONCE WALL MOUNT FIXTURE
	PENDANT WALL MOUNT FIXTURE
	LED COVE STRIP LIGHT
	WALL MOUNTED LIGHT FIXTURE
	PENDANT LIGHT/ CHANDELIER
	RECESSED DOWNLIGHT FIXTURE
	EXIT LIGHT
	SUSPENDED CEILING
	AREA NOT AFFECTED DURING THIS PHASE

- RCP NOTES BY NUMBER (#)**
- 2x2 A.C.T SUSPENDED CEILING W/ 6" R-19 FIBERGLASS INSULATION OVER.
  - NEW 1-HR FIRE RATED GYPSUM BOARD CEILING, GA FILE NO. RG-2601. RE: RCP AND DETAILS.
  - EXISTING CEILING AND LIGHTING TO REMAIN.
  - NEW STANDING SEAM METAL ROOF ON EXISTING METAL AWNING STRUCTURE.
  - LIGHT COVE WITH LED COVE STRIP LIGHT.
  - CEILING OPEN TO DECK.
  - PENDANT LIGHTING SUSPENDED FROM ROOF STRUCTURE.
  - DECORATIVE RECESSED WOOD RAFTERS/BEAMS.
  - SUSPENDED LINEAR LIGHT FIXTURE.
  - EXISTING LIGHTING FIXTURE TO REMAIN.



**01 PHASE 2 RCP PLAN**  
A2.4 SCALE: 1/8"=1'-0"



EXTENT OF PHASE 2 SCOPE

BELOW

4  
3

NOTE:  
RAISE EXISTING SUSPENDED STAGE LIGHTS AND PROJECTOR  
UP 12" WITH CEILING IN FELLOWSHIP HALL

AREA NOT IN  
PHASE 2 SCOPE

OPEN TO ROOF  
STRUCTURE

AREA NOT IN  
SCOPE OF WORK

STAGE LIGHTS  
ON TRACT

REUSE EXIST.  
SP GRID

REUSE EXIST.  
SP GRID

OPEN  
CEILING

9'-10"

10'-0"

9'-0"

8'-10"

8'-10"

8'-10"

8'-10"

9'-10"

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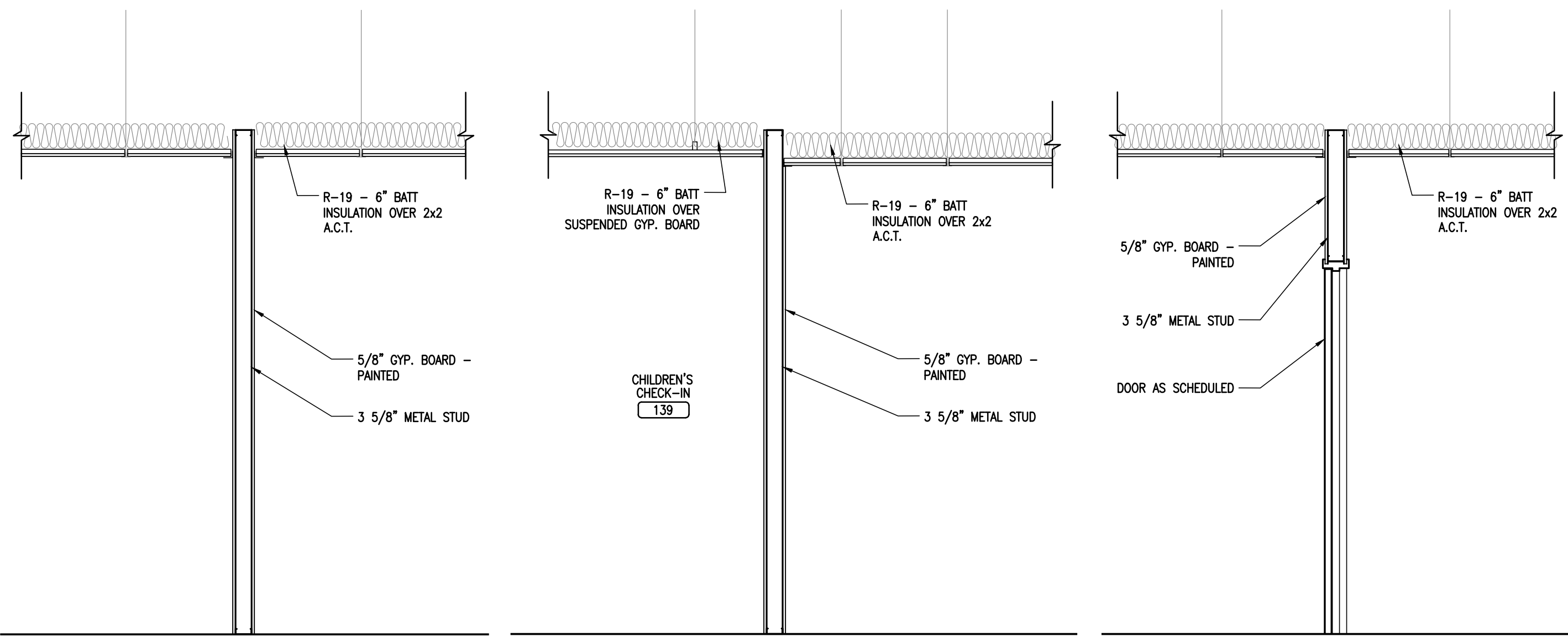
8'-10"

8'-10"

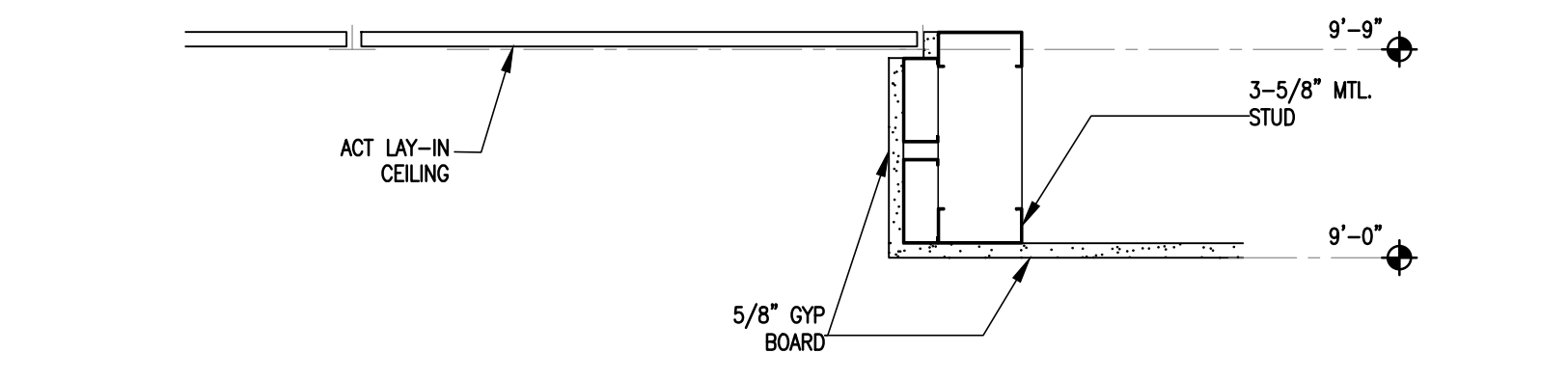
8'-10"

PROSTUD FULL COMPOSITE LIMITING HEIGHTS					
5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUB 25 362PDS125-15	0.0158	50	12	17'-1"
				16	15'-6"
				24	13'-6"
	PROSTUD 20 362PDS125-18	0.0190	70	12	18'-2"
				16	16'-10"
				24	15'-1"
	PROSTUD 30 362PDS125-30	0.0312	33	12	20'-5"
				16	18'-6"
				24	16'-2"
	PROSTUD 33 362PDS125-33	0.0346	33	12	21'-2"
				16	19'-2"
				24	16'-9"

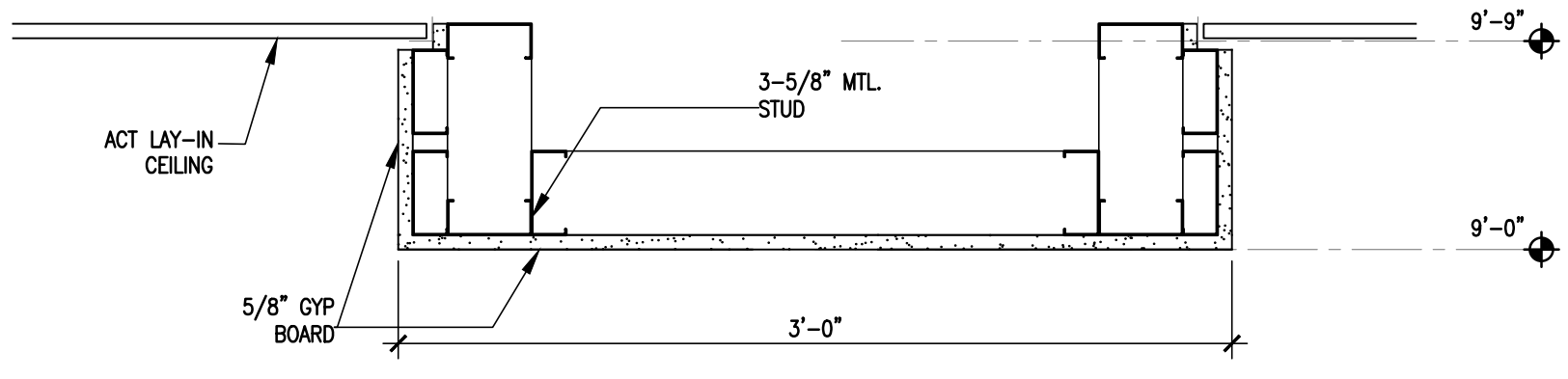
PROSTUD NON-COMPOSITE LIMITING HEIGHTS					
5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUB 25 362PDS125-15	0.0158	50	12	12'-5"
				16	10'-9"
				24	8'-9"
	PROSTUD 20 362PDS125-18	0.0190	70	12	14'-6"
				16	13'-2"
				24	10'-9"
	PROSTUD 30 362PDS125-30	0.0312	33	12	17'-4"
				16	15'-9"
				24	13'-9"
	PROSTUD 33 362PDS125-33	0.0346	33	12	17'-11"
				16	16'-3"
				24	14'-3"



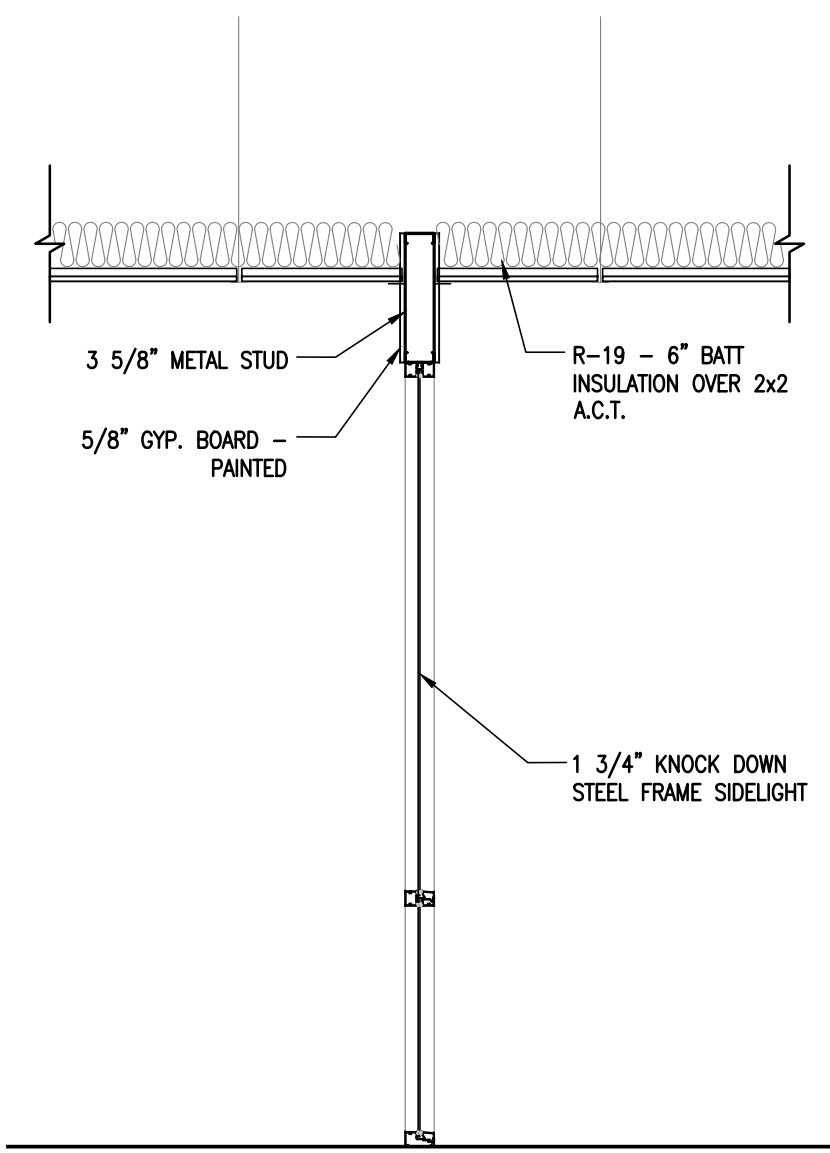
09 WALL SECTION SCALE: 1/2"=1'-0"  
 08 WALL SECTION SCALE: 1/2"=1'-0"  
 07 WALL SECTION SCALE: 1/2"=1'-0"



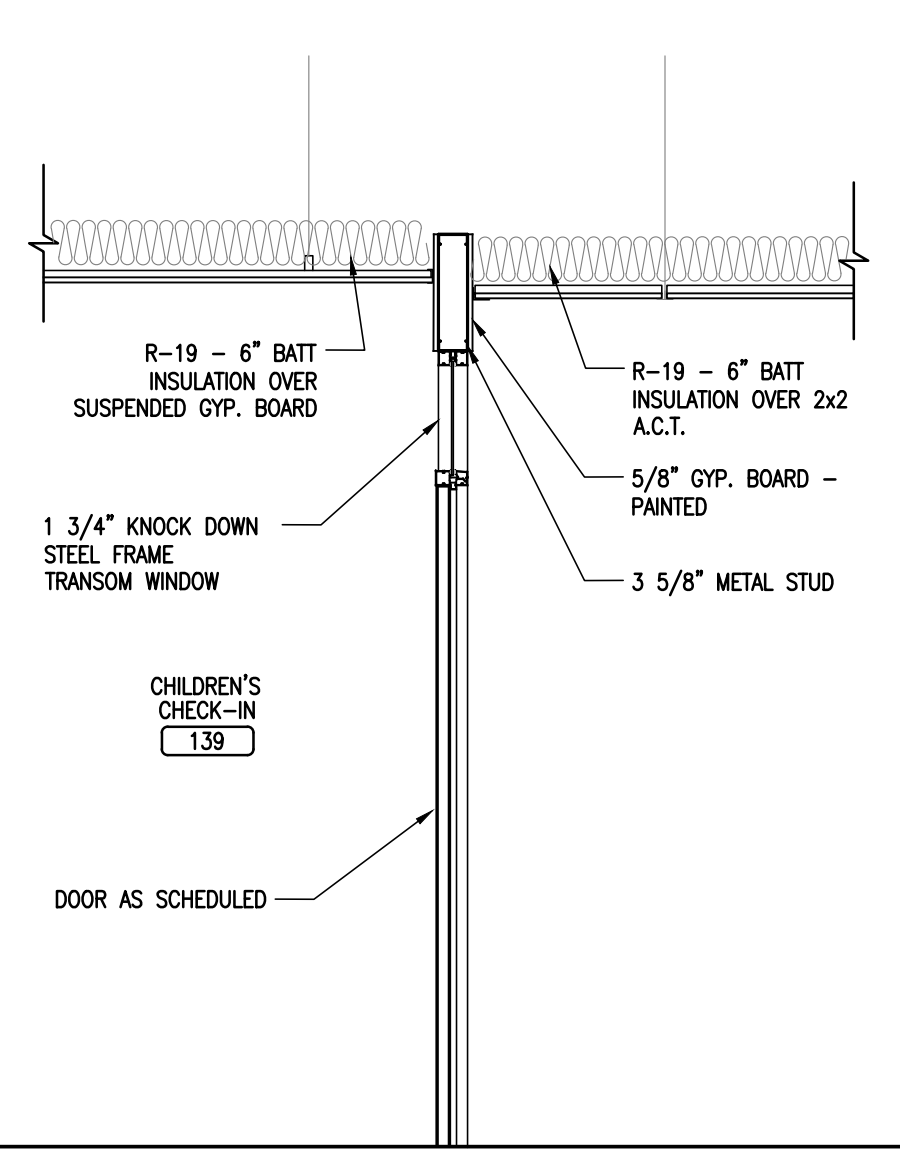
11 WALL SECTION SCALE: 1-1/2"=1'-0"



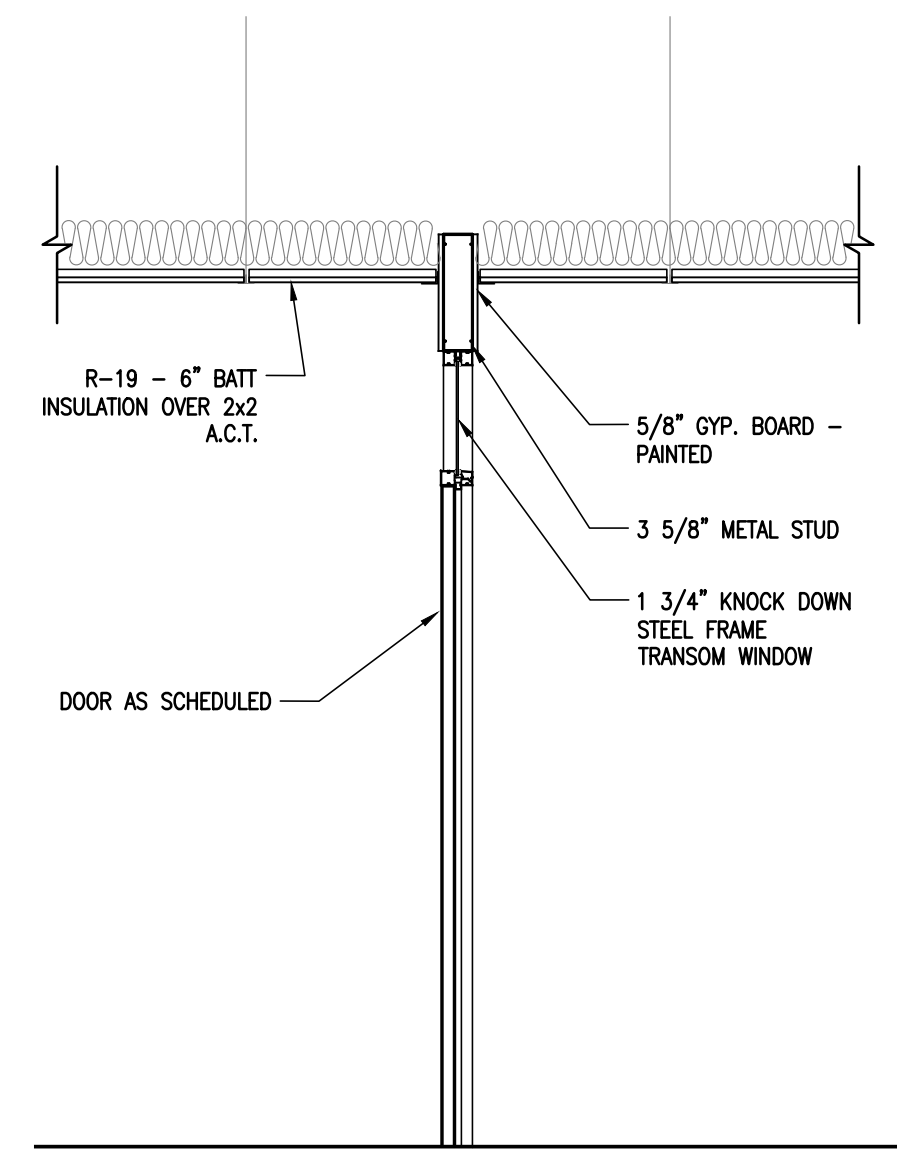
10 WALL SECTION SCALE: 1-1/2"=1'-0"



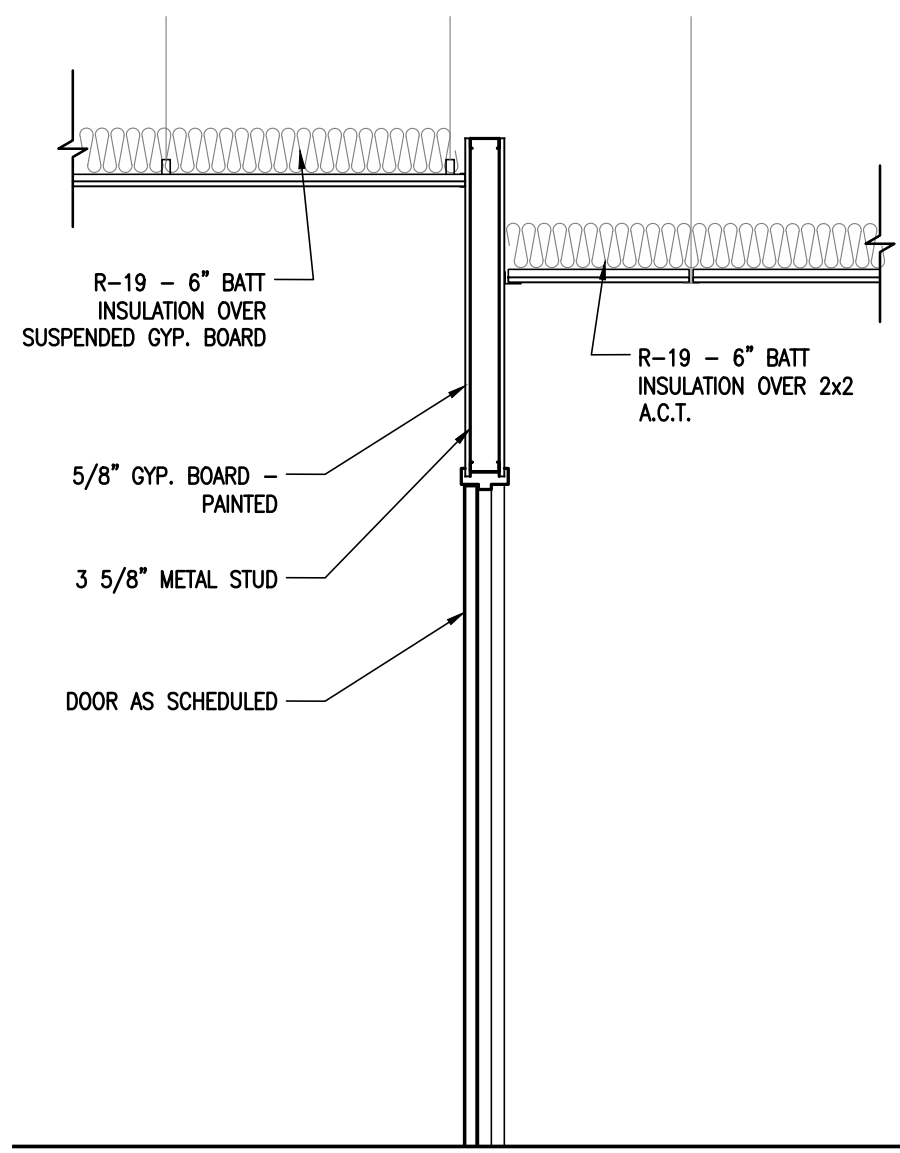
06 WALL SECTION SCALE: 1/2"=1'-0"



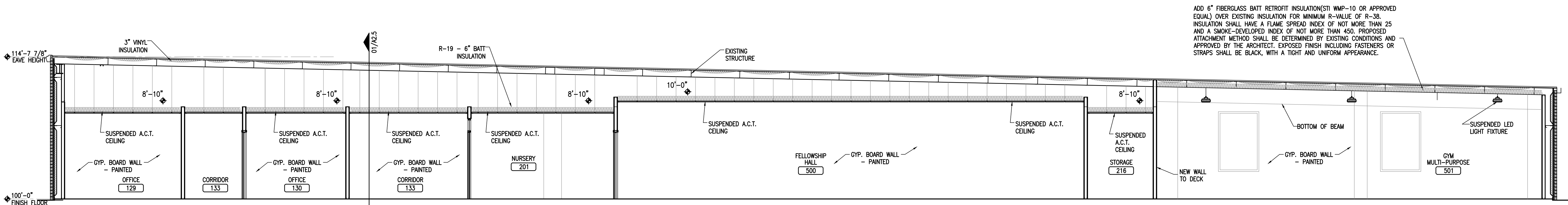
05 WALL SECTION SCALE: 1/2"=1'-0"



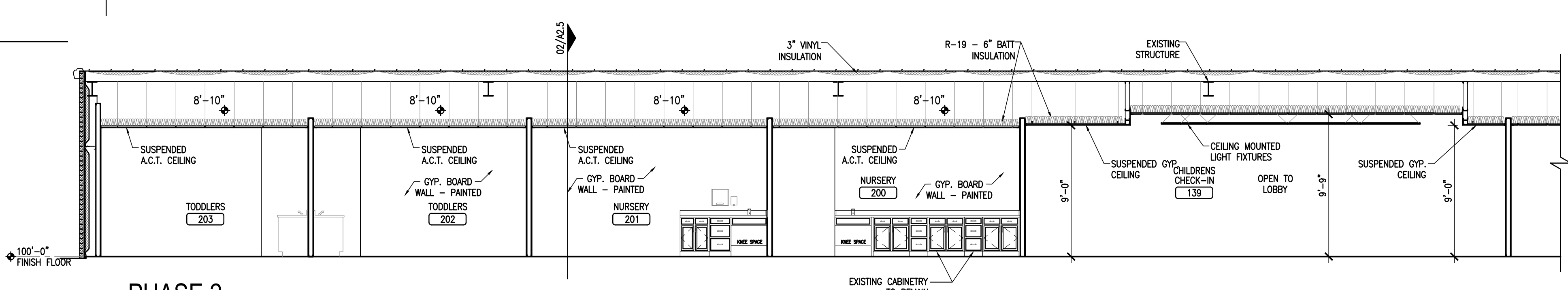
04 WALL SECTION SCALE: 1/2"=1'-0"



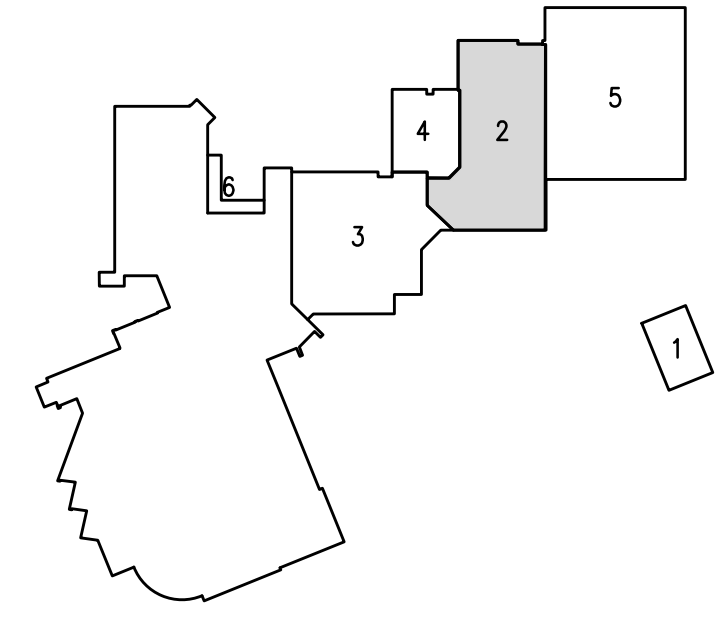
03 WALL SECTION SCALE: 1/2"=1'-0"



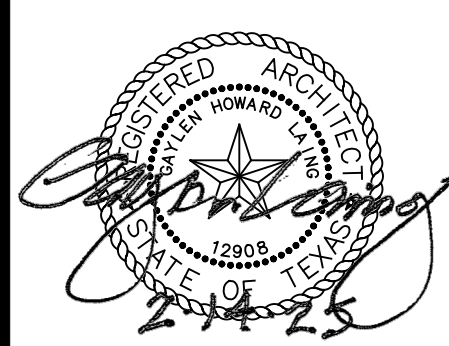
02 PHASE 2 BUILDING SECTION SCALE: 3/16"=1'-0"



01 PHASE 2 BUILDING SECTION SCALE: 3/16"=1'-0"



PHASING/  
NORTH KEY PLAN



DATE: 08/14/24

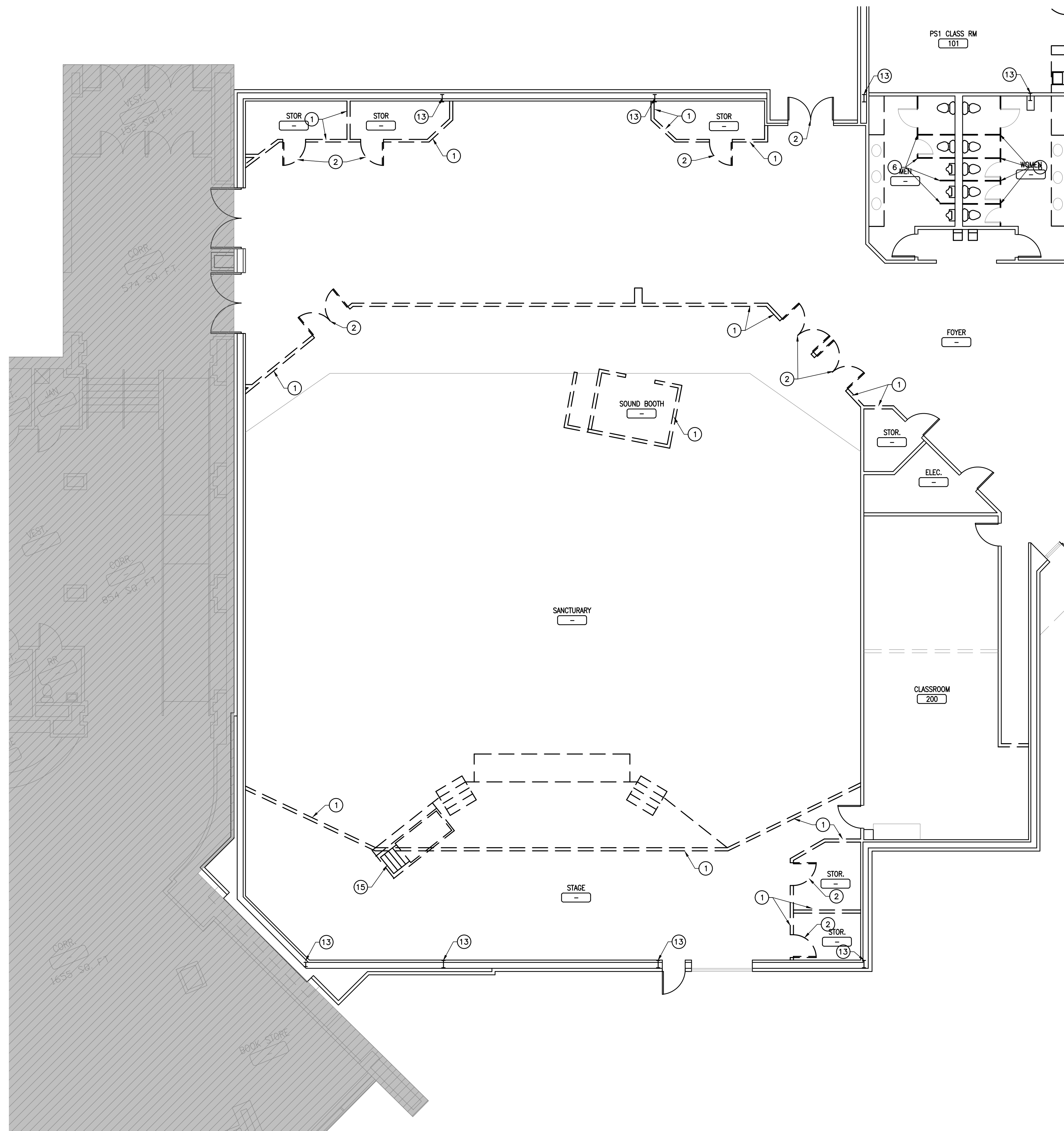
ISSUE:

REVISION:

SHEET TITLE:

PHASE 2  
BUILDING  
SECTION

A2.5



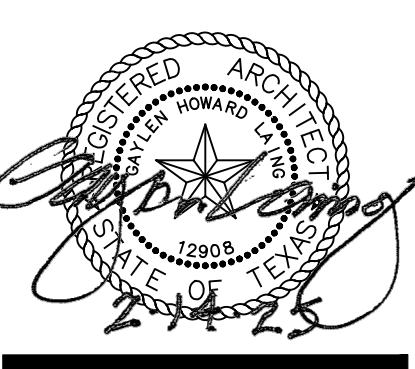
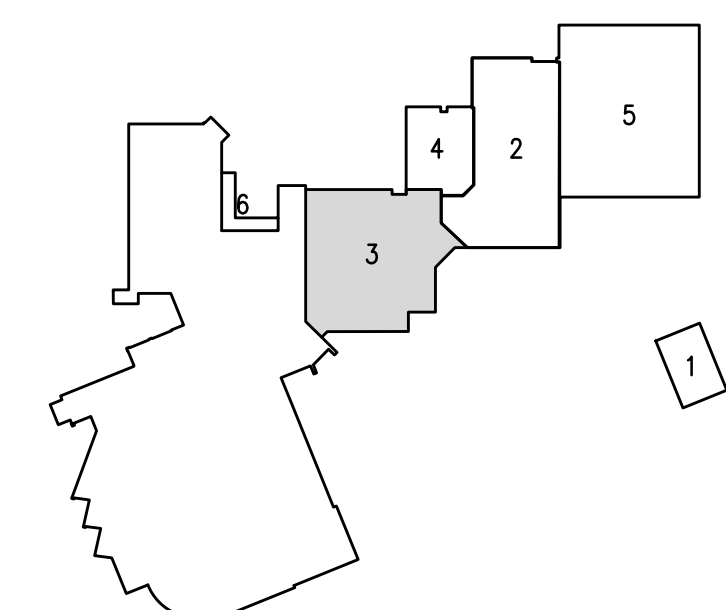
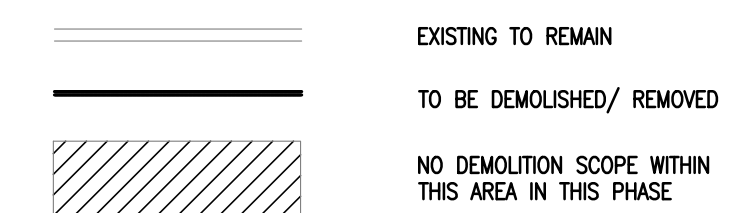
GENERAL DEMOLITION NOTES

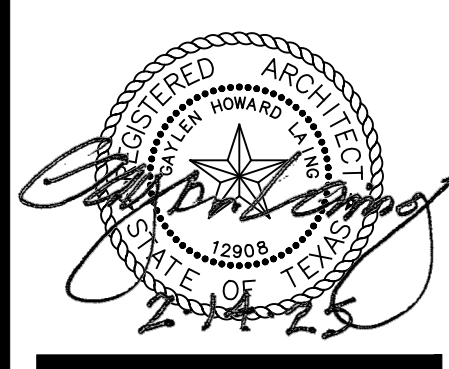
1. REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
2. ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
3. REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
4. CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
5. COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
6. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
7. PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
8. DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS, REFURBISH EXISTING DOORS AND FRAMES REUSED.
9. LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
10. MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
11. FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS. CONTRACTOR TO FIELD VERIFY.
12. REMOVE ALL FLOORING THROUGHOUT, U.O.N. FLOORING INCLUDES CARPET, WOOD FLOORING, VCT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
13. PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
14. ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.

DEMOLITION NOTES BY NUMBERS ○

1. REMOVE EXISTING WALL (DASHED).
2. REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
3. REMOVE EXISTING CABINETY.
4. REMOVE EXISTING WINDOW.
5. REMOVE EXISTING LIGHT FIXTURE(S).
6. REMOVE EXISTING PLUMBING FIXTURE.
7. REMOVE EXISTING LAY-IN CEILING.
8. EXISTING CEILING AND LIGHTING TO REMAIN.
9. REMOVE EXISTING TOILET PARTITIONS.
10. REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
11. REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
12. REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
13. STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
14. REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
15. REMOVE BAPTISTERY.
16. REMOVE ROLLING COUNTER SHUTTER.
17. REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
18. DISMANTLE AND REMOVE PORTABLE DESK.
19. REMOVE EXISTING STEEL DOOR(S) AND FRAME.
20. EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
21. CONDENSING UNIT TO BE REMOVED AND RELOCATED.

DEMOLITION LEGEND





DATE: 08/14/24  
ISSUE:  
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REVISION:  
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SHEET TITLE:

PHASE 3  
DEMO REFLECTED  
CEILING PLAN

**A3.1**

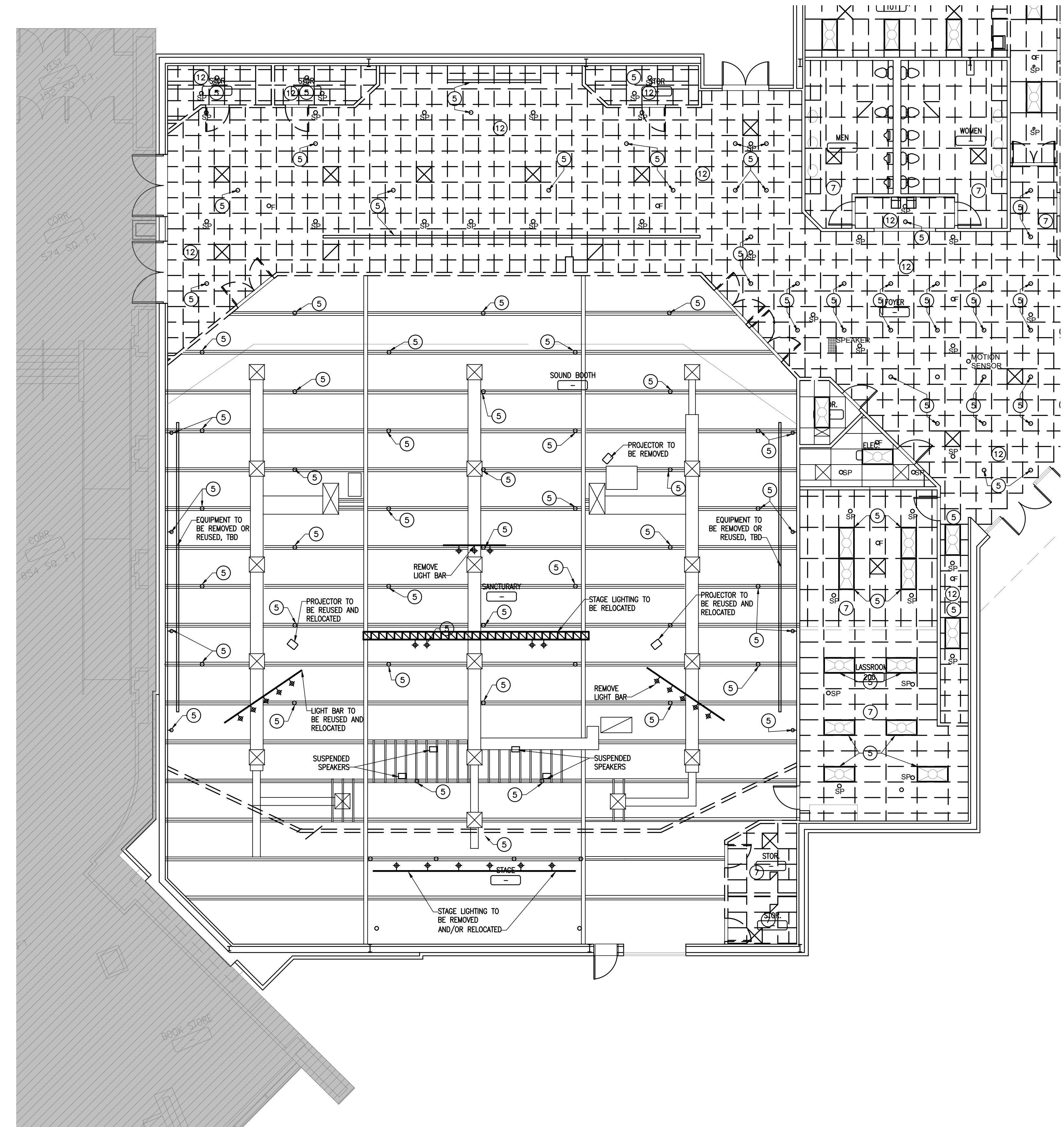
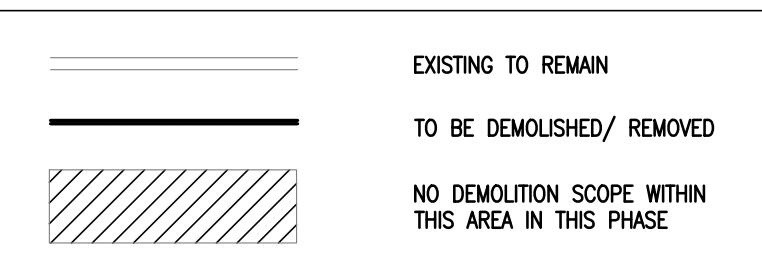
**GENERAL DEMOLITION NOTES**

1. REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
2. ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
3. REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
4. CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
5. COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
6. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
7. PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
8. DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS. REFINISH EXISTING DOORS AND FRAMES REUSED.
9. LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
10. MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
11. FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS.
12. REMOVE ALL FLOORING THROUGHOUT, U.O.N. FLOORING INCLUDES CARPET, WOOD FLOORING, VCT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
13. PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
14. ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.

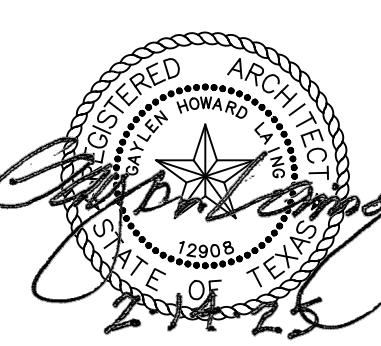
**DEMOLITION NOTES BY NUMBERS**

1. REMOVE EXISTING WALL (DASHED).
2. REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
3. REMOVE EXISTING CABINETRY.
4. REMOVE EXISTING WINDOW.
5. REMOVE EXISTING LIGHT FIXTURE(S).
6. REMOVE EXISTING PLUMBING FIXTURE.
7. REMOVE EXISTING LAY-IN CEILING.
8. EXISTING CEILING AND LIGHTING TO REMAIN.
9. REMOVE EXISTING TOILET PARTITIONS.
10. REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
11. REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
12. REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
13. STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
14. REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
15. REMOVE BAPTISTERY.
16. REMOVE ROLLING COUNTER SHUTTER.
17. REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
18. DISMANTLE AND REMOVE PORTABLE DESK.
19. REMOVE EXISTING STEEL DOOR(S) AND FRAME.
20. EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED.
21. CONDENSING UNIT TO BE REMOVED AND RELOCATED.

**DEMOLITION LEGEND**







DATE: 08/14/24

ISSUE:

REVISION:

SHEET TITLE:

PHASE 3  
FLOOR PLAN

**A3.2**

1300 WEST RANDOL MILL ROAD, ARLINGTON, TEXAS 76012  
817.801.7200  
www.ghila-inc.com

**P3 ROOM FINISH SCHEDULE**

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
101	CHAPEL/ MULTI-LINGUAL	CPT	VB	P	OPEN	
102	ADULT CLASSROOM	CPT	VB	P	ACT	
103	CONF/ADULT	CPT	VB	P	ACT	
104	ADULT CLASSROOM	CPT	VB	P	ACT	
105	ADULT CLASSROOM	CPT	VB	P	ACT	
106	ADULT CLASSROOM	CPT	VB	P	ACT	
107	ADULT CLASSROOM	CPT	VB	P	ACT	
108	ADULT CLASSROOM	CPT	VB	P	ACT	
109	ADULT CLASSROOM	CPT	VB	P	ACT	
110	ADULT CLASSROOM	CPT	VB	P	ACT	
111	ADULT CLASSROOM	CPT	VB	P	ACT	
112	ADULT CLASSROOM	CPT	VB	P	ACT	
113	STAGE	LVT	VB	P	ACT	
120	OFFICE	CPT	VB	P	ACT	
121	OFFICE	CPT	VB	P	ACT	
122	OFFICE	CPT	VB	P	ACT	
123	OFFICE	CPT	VB	P	ACT	
124	WORK/BREAK	LVP	VB	P	ACT	
133	CONCOURSE	CPT	CPT	P	ACT	
134	VESTIBULE	LVP	VB	P	ACT	
135	STORAGE	LVP	VB	P	ACT	
136	VESTIBULE	LVP	VB	P	ACT	
137	ELEC.	-	VB	P	ACT	
138	STORAGE	LVP	VB	P	ACT	
139	CORRIDOR	LVP	VB	P	ACT	
140	MENS	PT	PT	PT/P	ACT	
141	WOMENS	PT	PT	PT/P	ACT	

**FLOORING:**  
CPT CARPET TILE  
LVP LUXURY VINYL PLANK  
ETR EXISTING TO REMAIN  
PT PORCELAIN TILE  
SC SEALED CONCRETE

**BASE:**  
VB VINYL BASE

**WALLS:**  
P PAINT AND TEXTURE ON GYP. BD.  
CT PORCELAIN TILE  
EPX EPOXY PAINT COATING

**CEILING:**  
P PAINT AND TEXTURE ON GYP. BD.  
ACT LAY-IN ACOUSTICAL TILE

**GENERAL NOTES:**  
1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.  
2. BASE IN BATHROOMS SHALL BE 4" TALL.

**P3 DOOR SCHEDULE**

DOOR NO.	TYPE	SIZE	MATL	FRAME	FIRE	HW
101A	6	(2)3'-0" X 7'-0"	WD	F	STL	13
101B	6	(2)3'-0" X 7'-0"	WD	F	STL	13
101C	5	3'-0" X 7'-0"	WD	D	STL	12
102	5	3'-0" X 7'-0"	WD	C	STL	1
103A	5	3'-0" X 7'-0"	WD	C	STL	1
103B	5	3'-0" X 7'-0"	WD	C	STL	1
104	5	3'-0" X 7'-0"	WD	C	STL	1
105A	5	3'-0" X 7'-0"	WD	C	STL	1
105B	5	3'-0" X 7'-0"	WD	C	STL	1
106	5	3'-0" X 7'-0"	WD	C	STL	1
107A	5	3'-0" X 7'-0"	WD	C	STL	1
107B	5	3'-0" X 7'-0"	WD	C	STL	1
108	5	3'-0" X 7'-0"	WD	C	STL	1
109	5	3'-0" X 7'-0"	WD	C	STL	1
110	5	3'-0" X 7'-0"	WD	C	STL	1
111	5	3'-0" X 7'-0"	WD	C	STL	1
112	5	3'-0" X 7'-0"	WD	C	STL	1
120	5	3'-0" X 7'-0"	WD	D	STL	1
121	5	3'-0" X 7'-0"	WD	D	STL	1
122	5	3'-0" X 7'-0"	WD	D	STL	1
123	5	3'-0" X 7'-0"	WD	D	STL	1
124	5	3'-0" X 7'-0"	WD	D	STL	1
125	5	3'-0" X 7'-0"	WD	D	STL	1
126	5	3'-0" X 7'-0"	WD	D	STL	1
133A	-	3'-0" X 7'-0"	ALUM	-	EXIST.	1
133B	-	3'-0" X 7'-0"	WD	-	EXIST.	1
133C	-	3'-0" X 7'-0"	WD	-	EXIST.	1
135	5	3'-0" X 7'-0"	WD	D	STL	3
136A	5	3'-0" X 7'-0"	WD	D	STL	12
136B	5	3'-0" X 7'-0"	WD	D	STL	12
136C	-	3'-0" X 7'-0"	WD	-	EXIST.	1
137	-	3'-0" X 7'-0"	WD	-	EXIST.	1
138	-	3'-0" X 7'-0"	WD	-	EXIST.	1
139	5	3'-0" X 7'-0"	WD	D	STL	1
140	5	3'-0" X 7'-0"	WD	D	STL	6
141	-	3'-0" X 7'-0"	WD	D	STL	6

**GENERAL NOTES**  
1. ALL DOORS TO BE 1 3/4" U.N.O.  
2. EXIT DEVICES SHALL COME WITH LOCKING LOCKSET ON OPPOSING SIDE OF DOOR  
3. DOOR SURFACES WITHIN 10" OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR.

**DOOR/FRAME MATERIAL**  
FLAM PLASTIC LAMINATE CLAD STL STEEL  
HM HOLLOW/PRESSED METAL ALUM ALUMINUM STOREFRONT  
MTL METAL

**CLEAR FLOOR SPACE**

- 1 60" TURNING DIAMETER
- 2 30" x 48" CLEAR FLOOR SPACE
- 3 60" x 60" CLEAR FLOOR SPACE
- 4 48" x 60" CLEAR FLOOR SPACE
- 5 36" x 48" CLEAR FLOOR SPACE
- 6 36" x 60" CLEAR FLOOR SPACE
- 7 42" x 58" CLEAR FLOOR SPACE
- 8 54" x 60" CLEAR FLOOR SPACE
- 9 48" x 48" CLEAR FLOOR SPACE
- 10 58" x 42" CLEAR FLOOR SPACE

**TOILET ACCESSORIES**

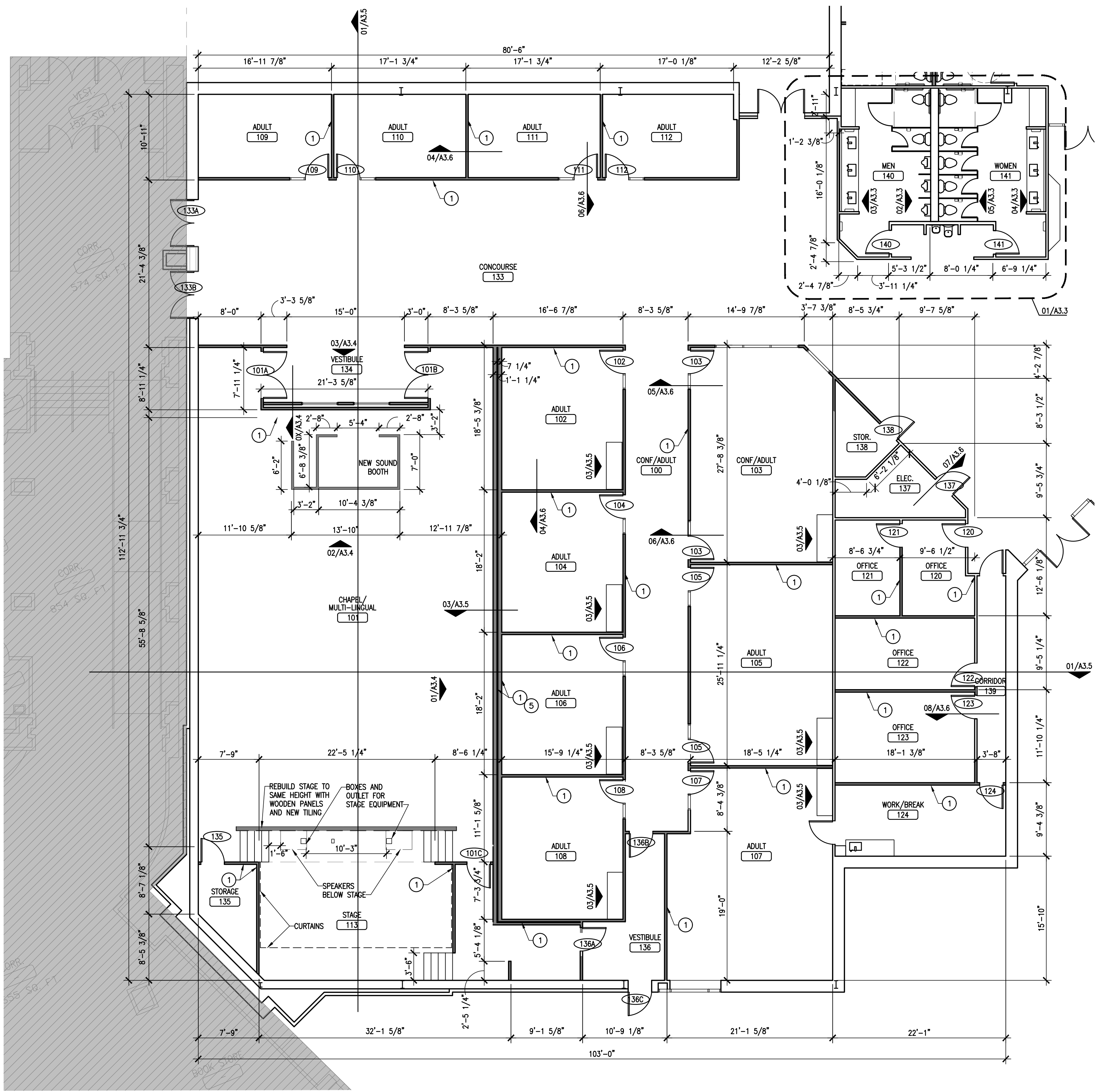
- TA1 ENMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
  - TA2 TOILET TISSUE DISPENSER - DOUBLE ROLL
  - TA3 36" GRAB BAR
  - TA4 42" GRAB BAR
  - TA5 AUTOMATIC SOAP DISPENSER - DECK MOUNTED
  - TA6 SANITARY NAPKIN DISPOSAL UNIT
  - TA7 24" X 36" WALL MOUNTED MIRROR
  - TA8 SOAP DISPENSER - WALL MOUNTED
  - TA9 UNFRAMED MIRROR
- SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13

**GENERAL FLOOR PLAN NOTES**

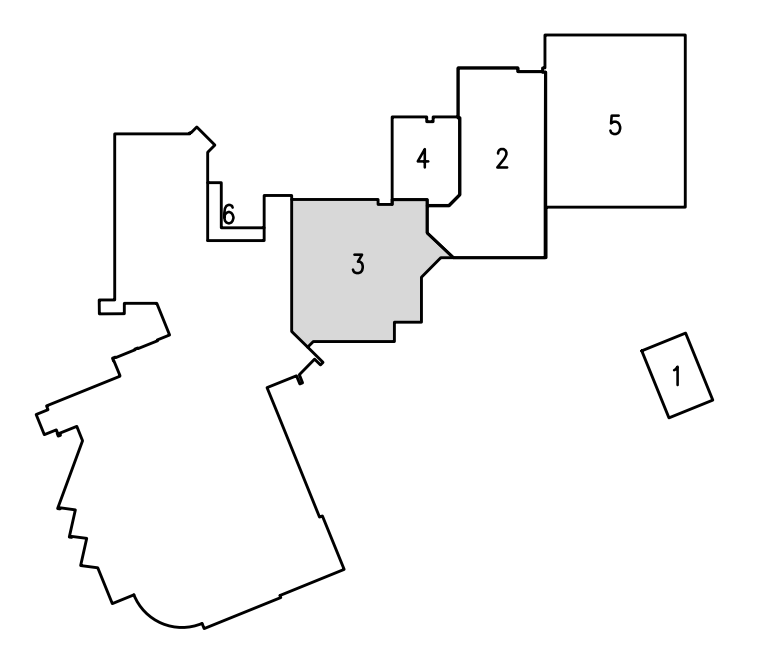
- REFER TO MEP DRAWINGS FOR MORE INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE OWNER AND ARCHITECT OF ANY CONFLICT PRIOR TO THE COMMENCEMENT OF WORK.
- PROVIDE WOOD BLOCKING FOR ALL ITEMS OR EQUIPMENT FASTENING INTO DRYWALL PARTITIONS, TYPICAL. FOR TV LOCATIONS, PROVIDE 12" HIGH X 16" WIDE BLOCKING W/ CENTER AT 60" A.F.F. FOR BEDSIDE TV'S PROVIDE BLOCKING AS RECOMMENDED BY MANUFACTURER.
- ALL PUBLIC USE DOORS SHALL HAVE NO ACCESSIBLE CLEAR FLOOR SPACE. NOTIFY ARCHITECT OF ANY CONFLICT TO COMPLIANCE.
- REFER TO SHEET G2.1 & G2.2 FOR ACCESSIBILITY REQUIREMENT INCLUDING CLEAR FLOOR SPACE, MOUNTING HEIGHTS, CABINET CLEARANCES, ETC... THAT MUST BE MAINTAINED.
- SEAL ALL PENETRATIONS IN RATED ASSEMBLIES TO MAINTAIN THE REQUIRED RATING.  
WHERE WALLS AND PARTITIONS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATED ASSEMBLY, STEEL ELECTRICAL BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY THE FOLLOWING:  
A. BY HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES.  
B. BY SOLID FIRE BLOCKING IN ACCORDANCE WITH SECTION 717.2.1 OF 2018 INTERNATIONAL BUILDING CODE, WHICH STATES THAT FIRE BLOCKING MATERIALS SHALL CONSIST OF 2-INCH NOMINAL LUMBER.  
C. BY PROTECTING BOTH OUTLET BOXES WITH LISTED PUTTY PADS.
- WHERE OCCUPIED SPACES ARE OPEN TO DECK, EXPOSED STRUCTURE, PIPE, DUCTWORK, AND DRYWALL SHALL BE PREPARED FOR PAINT.
- FLOORING TRANSITIONS BETWEEN ROOMS SHALL OCCUR BENEATH DOORS IN THE CLOSED POSITIONS, TYP.

**FLOOR PLAN NOTES BY NUMBER**

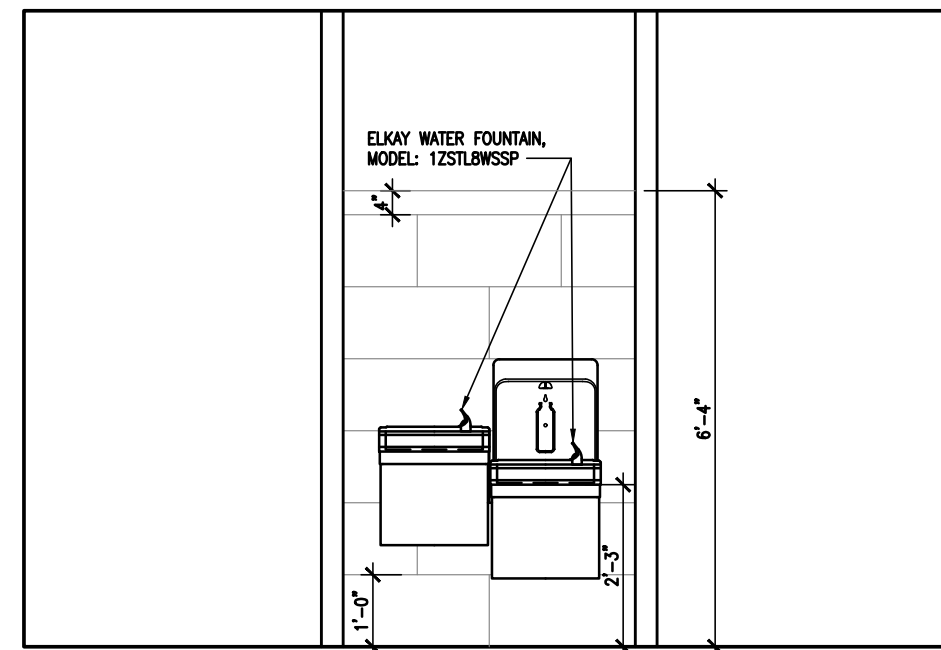
- NEW METAL FRAMED WALL. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
- NEW ALUMINUM FRAME AND GLASS PARTITION WALLS
- NEW EXTERIOR INFILL WALL TO MATCH EXISTING..
- RELOCATE EXISTING STOREFRONT DOOR & WINDOW UNITS.
- EXTEND NEW & EXISTING WALLS FULL HEIGHT TO DECK.
- REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW WALL CONFIGURATION.



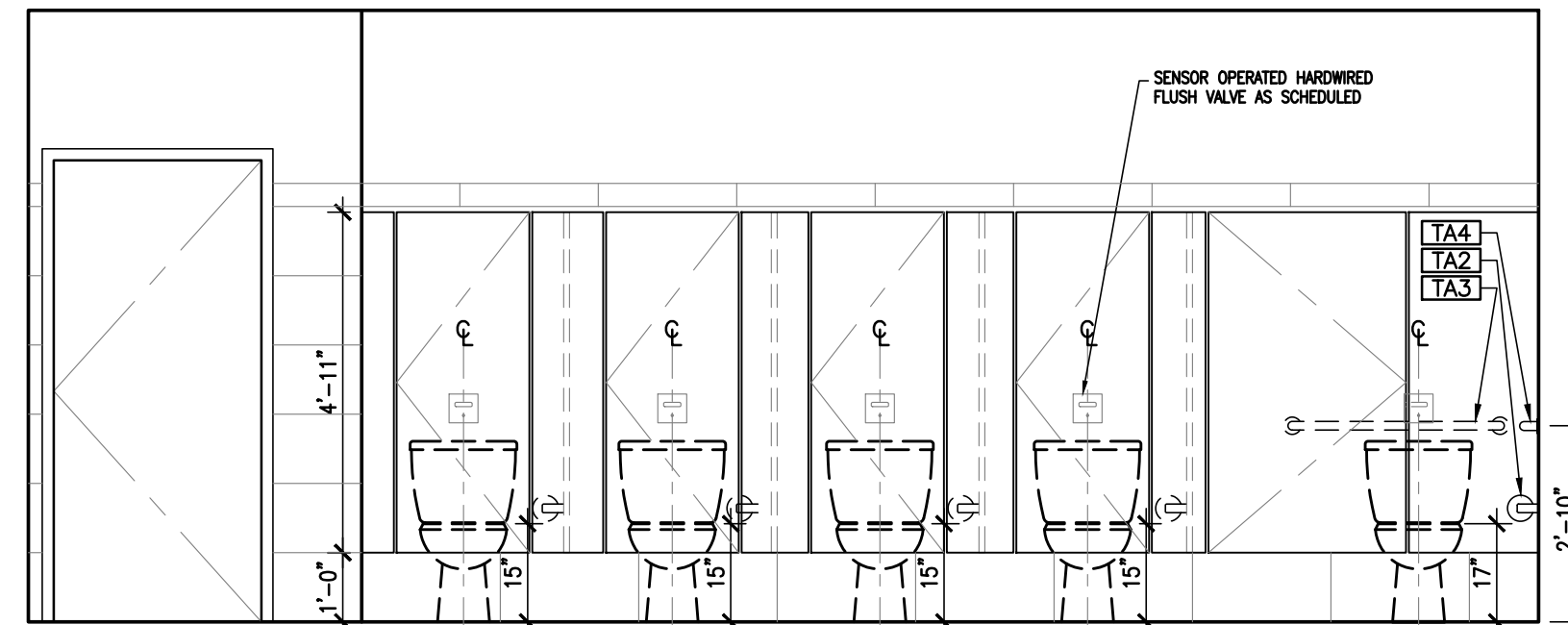
**01 PHASE 3 FLOOR PLAN**  
A3.2 SCALE: 1/8"=1'-0"



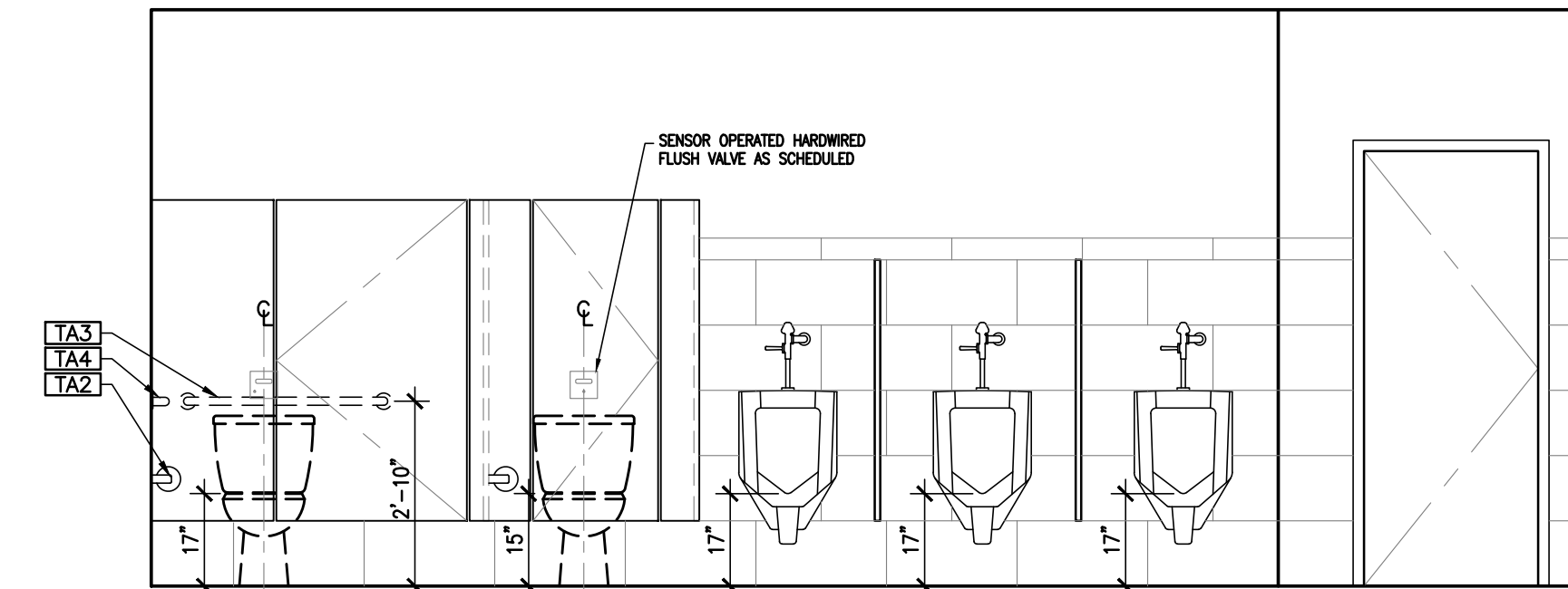
**PHASING/  
KEY PLAN**



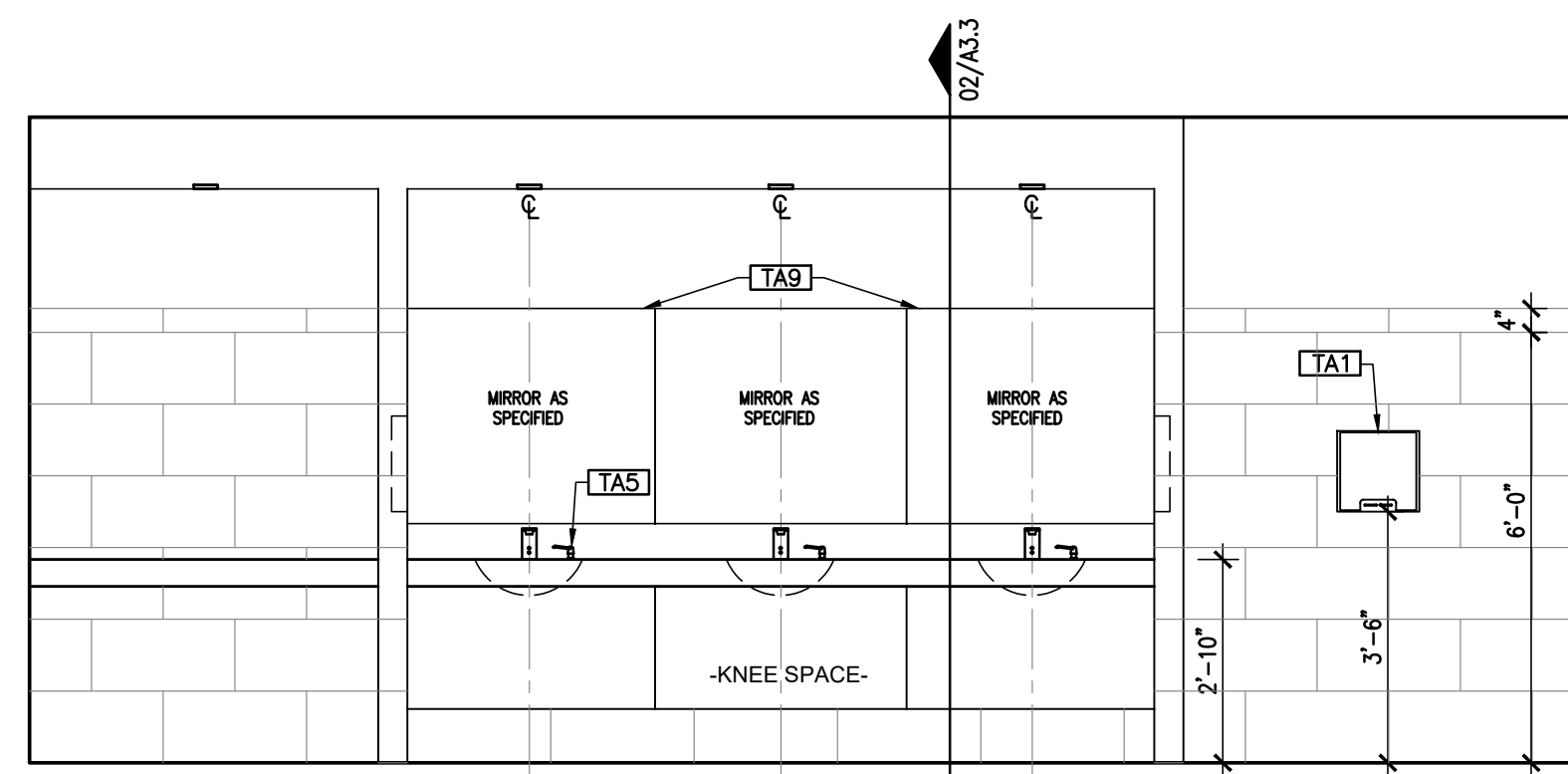
**07** INT. ELEVATION  
WATER FOUNTAINS  
A3.3 SCALE: 3/8"=1'-0"



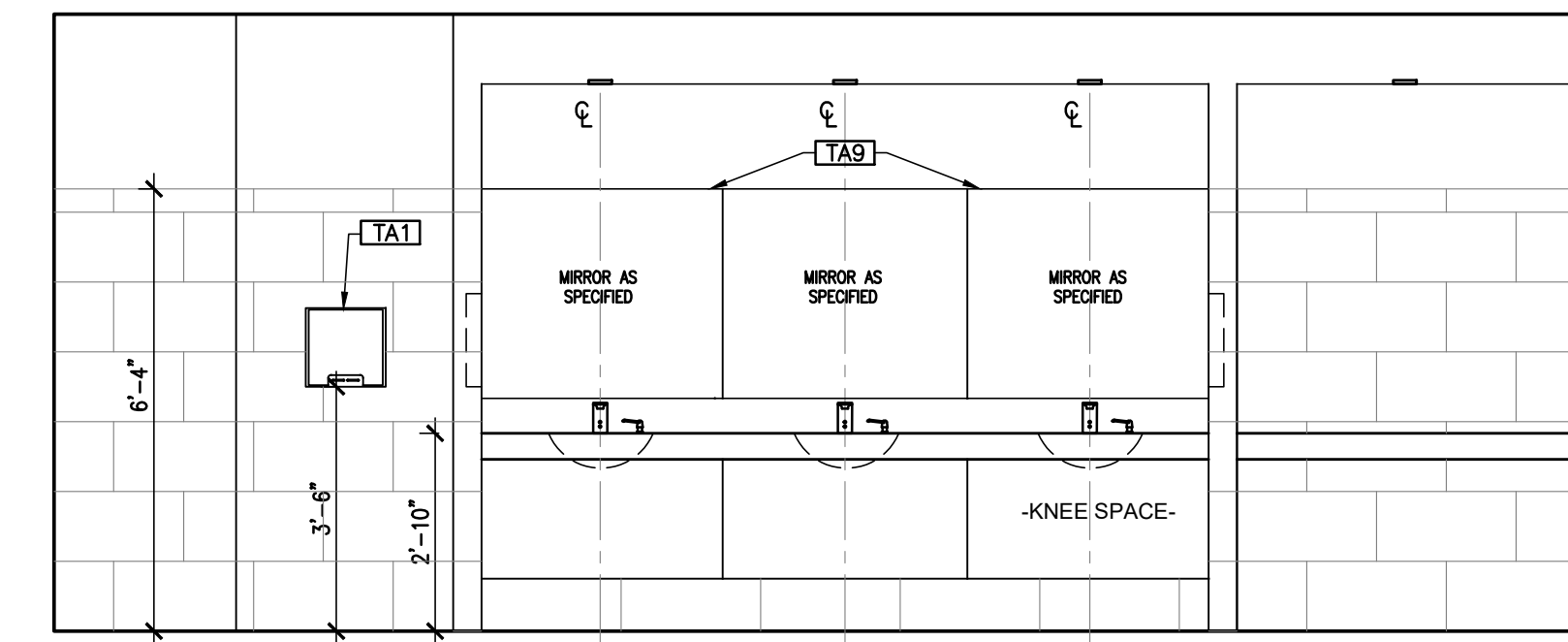
**06** INT. ELEVATION - WOMEN  
A3.3 SCALE: 3/8"=1'-0"



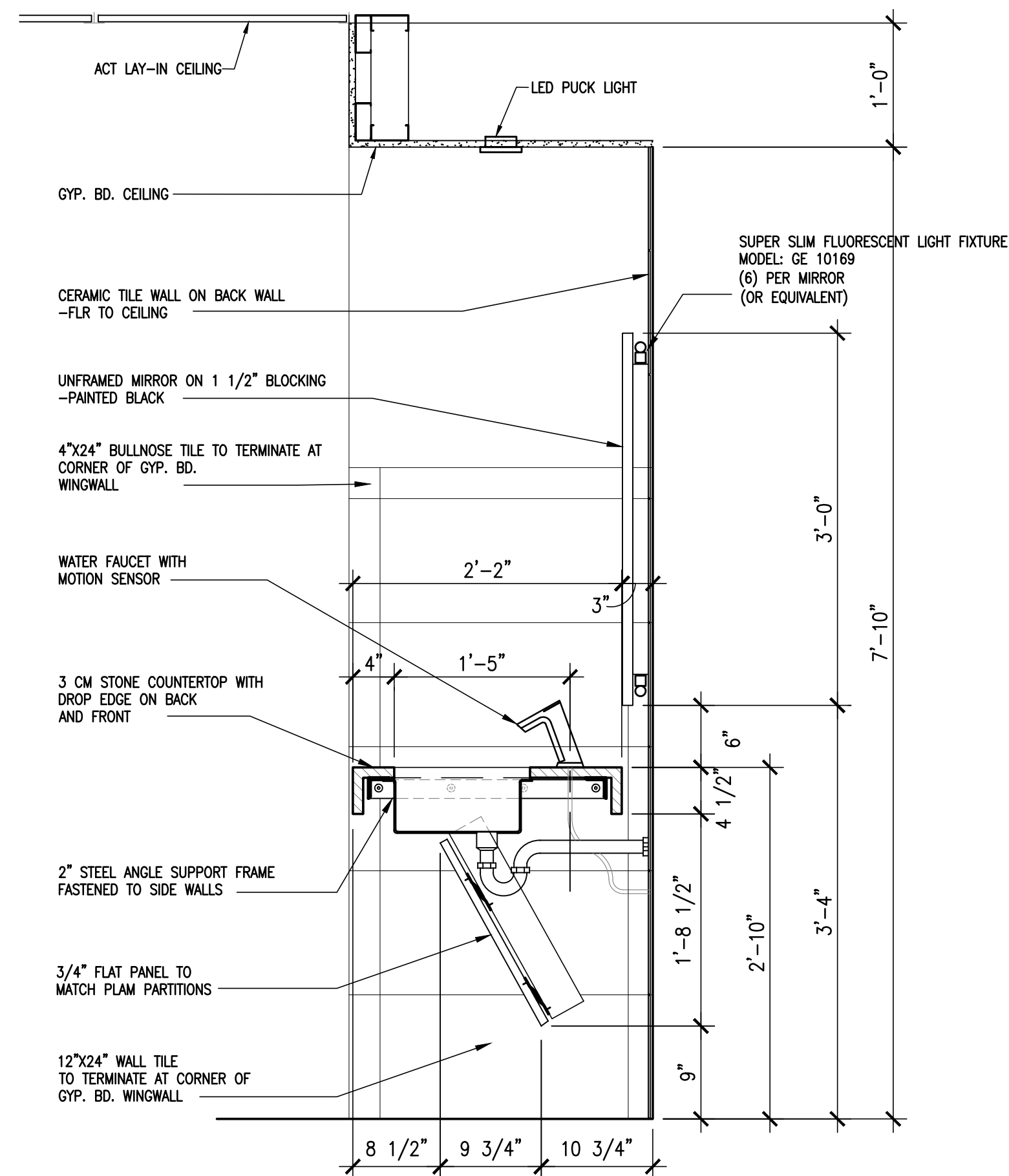
**04** INT. ELEVATION - MEN  
A3.3 SCALE: 3/8"=1'-0"



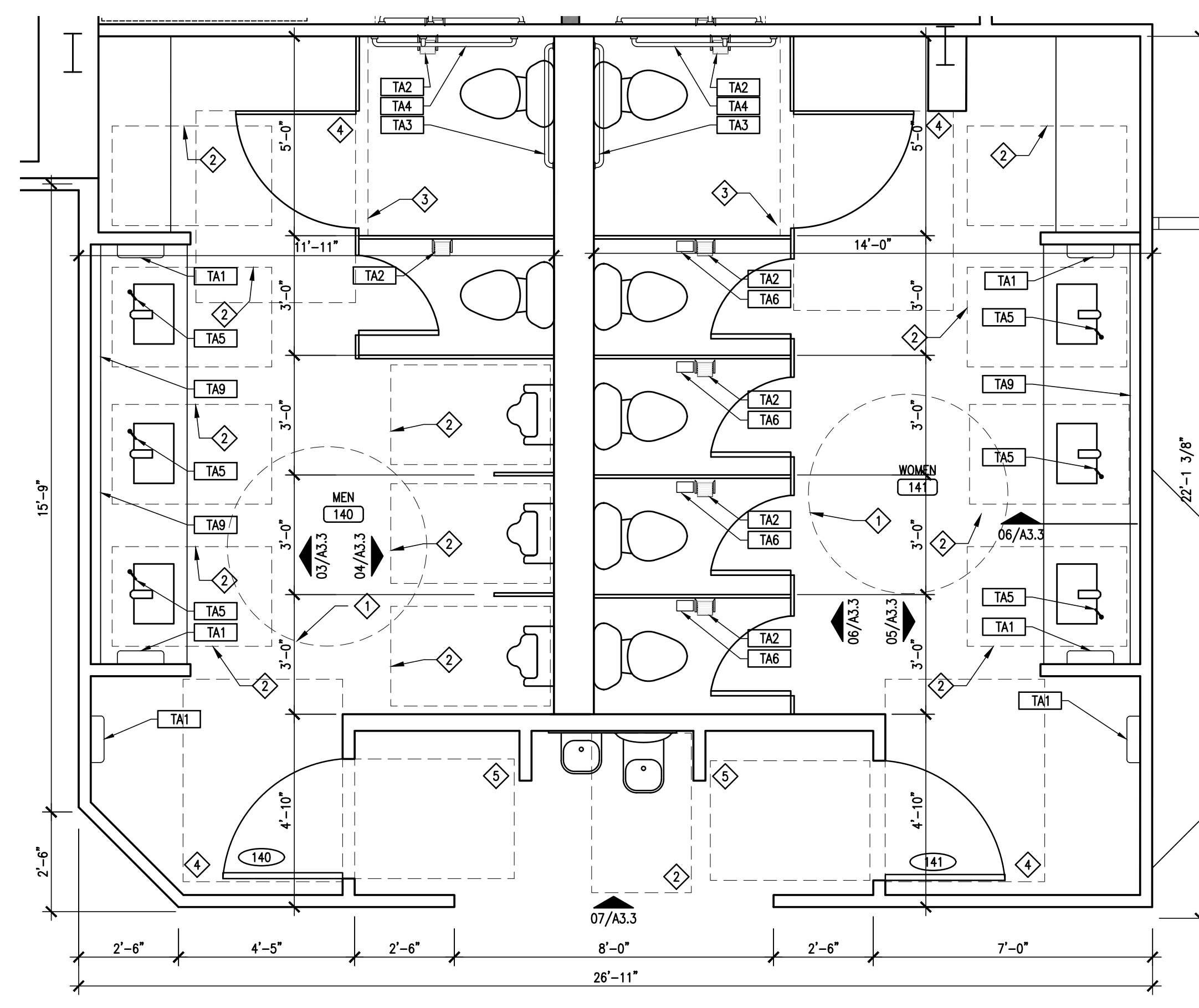
**05** INT. ELEVATION - WOMEN  
A3.3 SCALE: 3/8"=1'-0"



**03** INT. ELEVATION - MEN  
A3.3 SCALE: 3/8"=1'-0"



**02** LAVATORY DETAIL  
A3.3 SCALE: 1"=1'-0"



**01** ENLARGED RESTROOM PLAN  
A3.3 SCALE: 3/8"=1'-0"

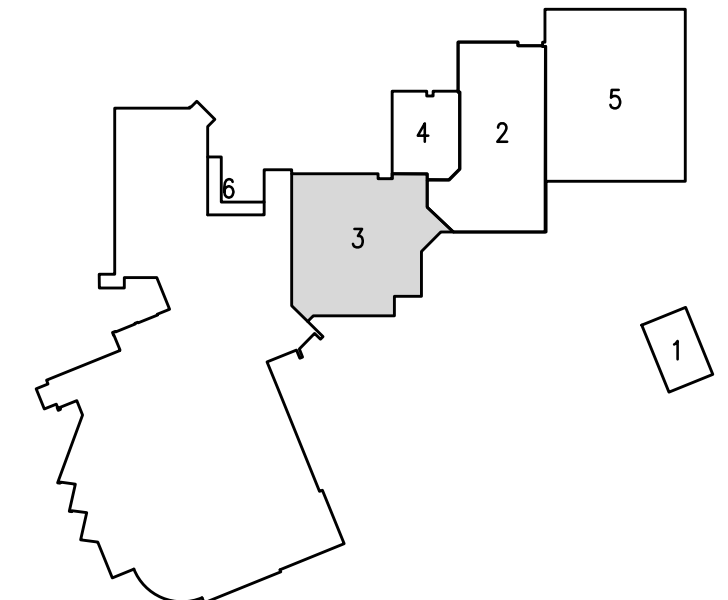
**TOILET ACCESSORIES**

TA1	EMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
TA2	TOILET TISSUE DISPENSER - DOUBLE ROLL
TA3	36" GRAB BAR
TA4	42" GRAB BAR
TAS	AUTOMATIC SOAP DISPENSER - DECK MOUNTED
TAB	SANITARY NAPKIN DISPOSAL UNIT
TA7	24" X 36" WALL MOUNTED MIRROR
TAB	SOAP DISPENSER - WALL MOUNTED
TA9	UNFRAMED MIRROR

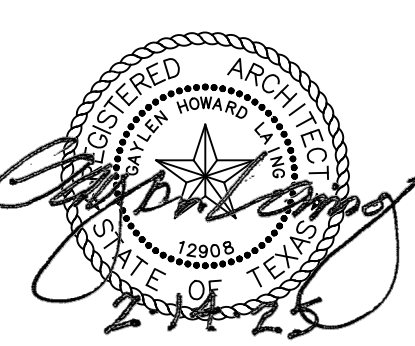
SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13

**CLEAR FLOOR SPACE**

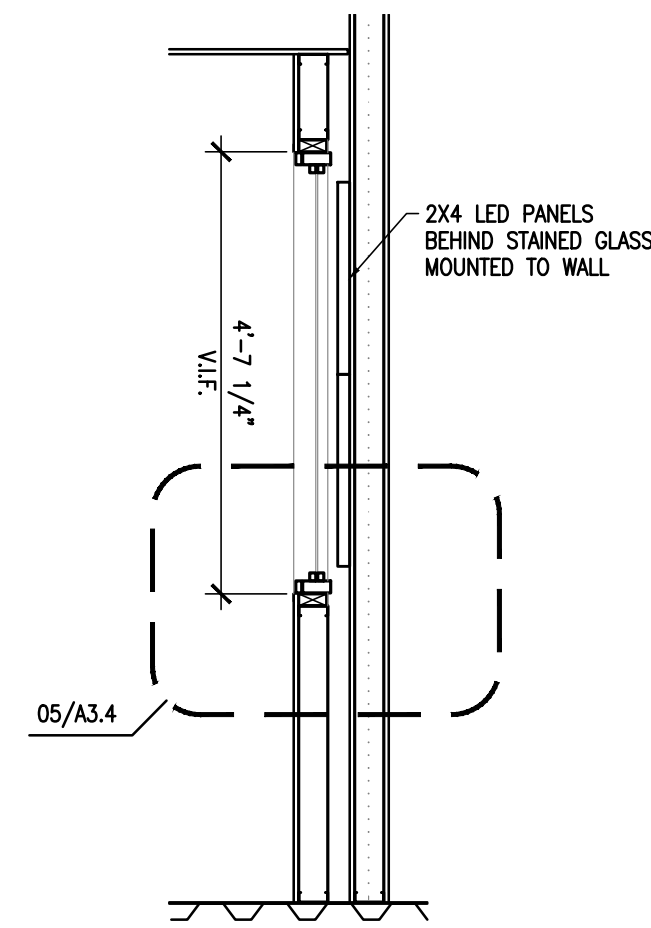
⬡	60" TURNING DIAMETER
⬢	30" x 48" CLEAR FLOOR SPACE
⬢	60" x 56" CLEAR FLOOR SPACE
⬢	48" x 60" CLEAR FLOOR SPACE
⬢	36" x 48" CLEAR FLOOR SPACE
⬢	36" x 60" CLEAR FLOOR SPACE
⬢	42" x 58" CLEAR FLOOR SPACE
⬢	54" x 60" CLEAR FLOOR SPACE
⬢	48" x 48" CLEAR FLOOR SPACE
⬢	58" x 42" CLEAR FLOOR SPACE



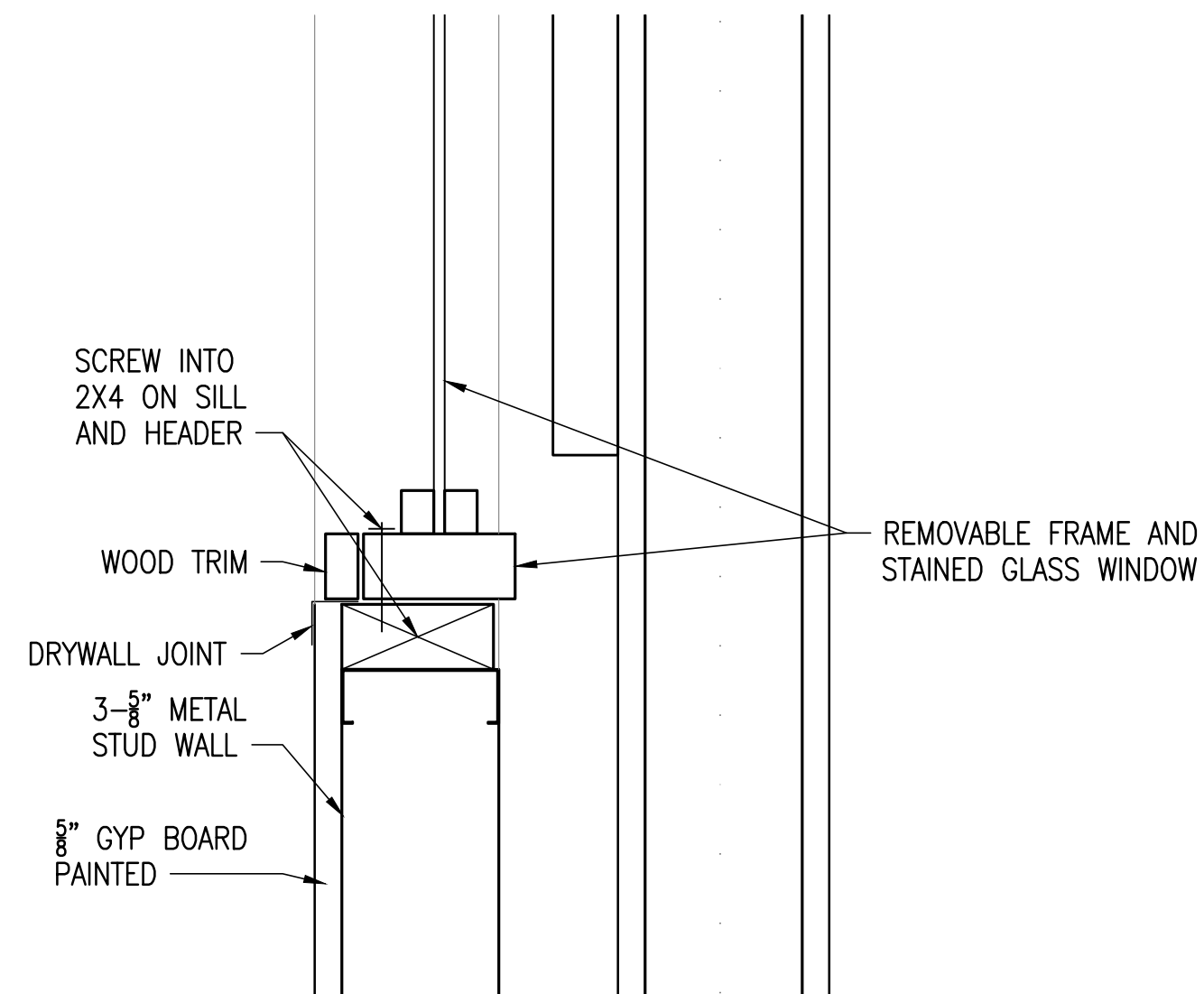
**KEY PLAN**  
NORTH



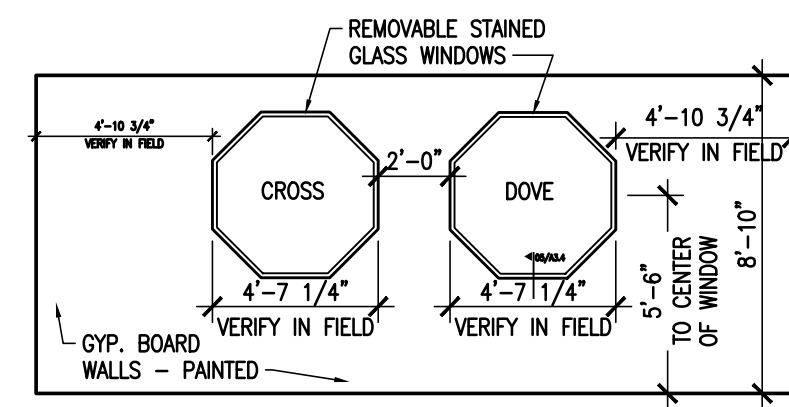
DATE: 08/14/24  
ISSUE:  
REVISION:  
SHEET TITLE:  
PHASE 3  
FLOOR PLAN &  
INT. ELEVATIONS



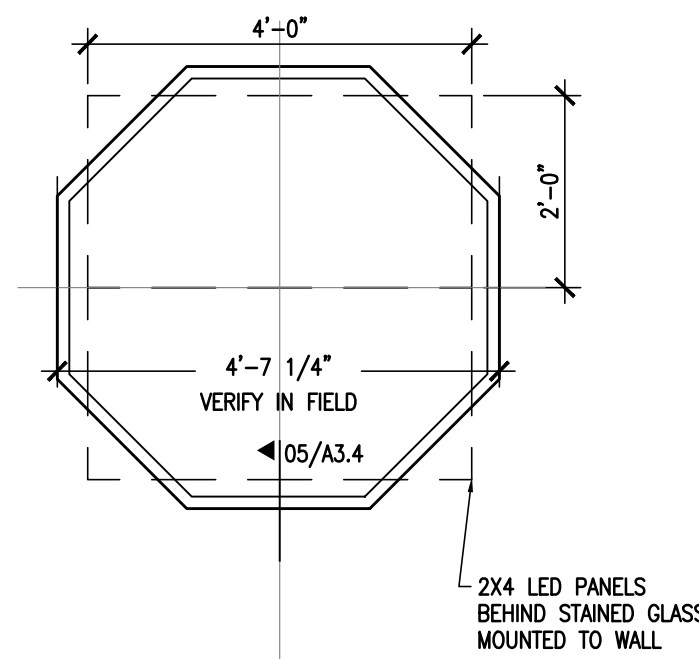
06  
A3.4  
PHASE 3 -STAINED WALL SECTION  
SCALE: 1/2"=1'-0"



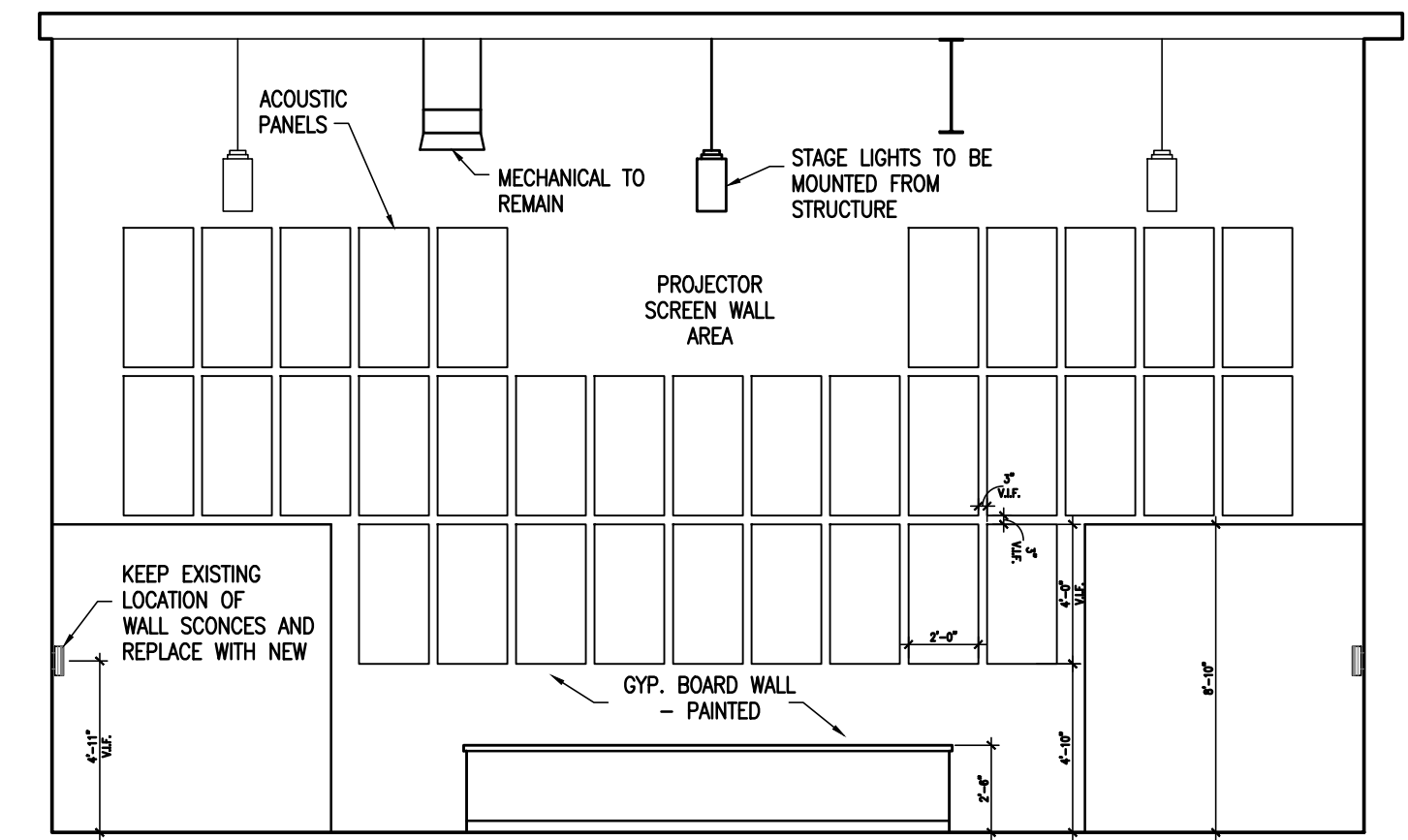
05  
A3.4  
PHASE 3 -STAINED WALL SECTION DETAIL  
SCALE: 3"=1'-0"



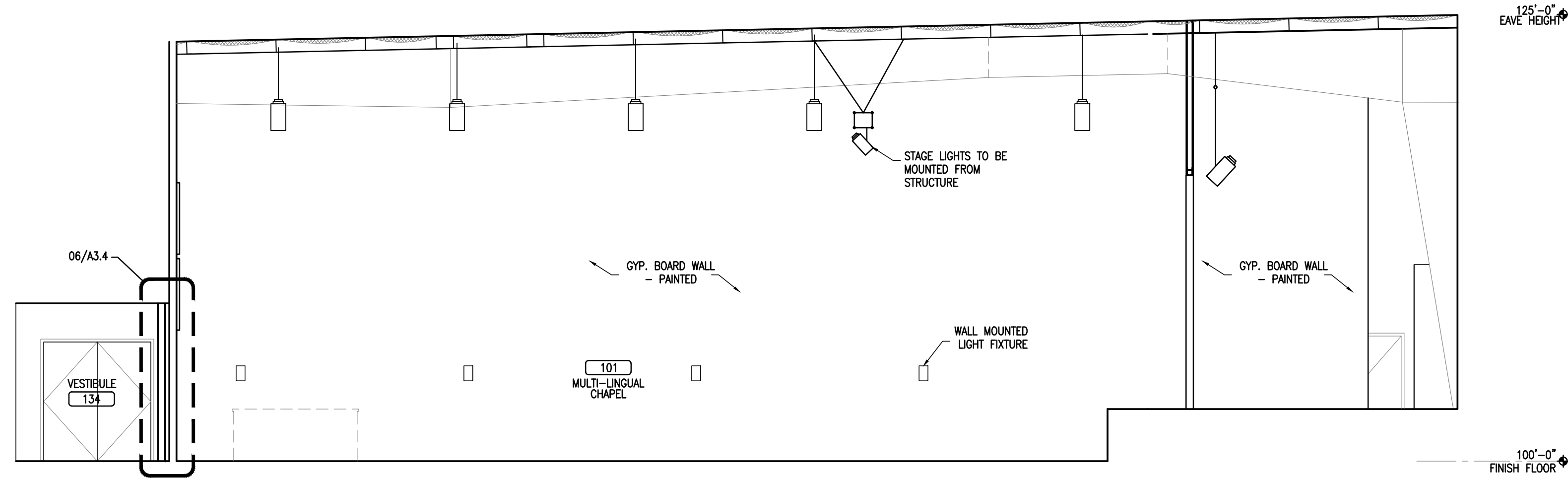
03  
A3.4  
PHASE 3 STAINED GLASS ELEVATION  
SCALE: 3/16"=1'-0"



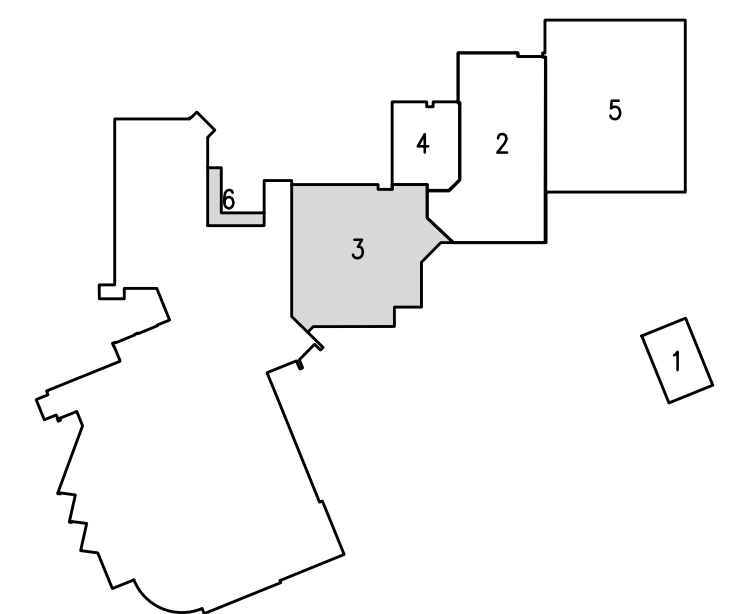
04  
A3.4  
PHASE 3 STAINED GLASS DETAIL  
SCALE: 1/2"=1'-0"



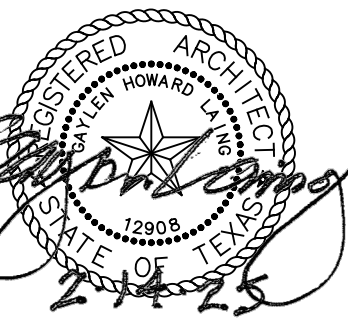
02  
A3.4  
PHASE 3 INTERIOR ELEVATION  
SCALE: 3/16"=1'-0"



01  
A3.4  
PHASE 3 INTERIOR ELEVATION  
SCALE: 3/16"=1'-0"



KEY PLAN  
NORTH



DATE: 08/14/24

ISSUE:

REVISION:

SHEET TITLE:

PHASE 3  
INTERIOR  
ELEVATION

**A3.4**



DATE: 08/14/24

ISSUE:

REVISION:

SHEET TITLE:

PHASE 3  
REFLECTED  
CEILING PLAN

A3.5

1300 WEST RANDOL MILL ROAD, ARLINGTON, TEXAS 76012  
817.801.7200  
www.ghla-inc.com

GENERAL RCP NOTES

- A. ALL 1 HOUR PARTITION WALLS SHALL TERMINATE TO THE BOTTOM OF THE 1-HOUR ROOF/CEILING ASSEMBLY.
- B. ALL PENETRATIONS THROUGH RATED WALLS SHALL BE FIRE-STOPPED AS REQUIRED TO MAINTAIN WALL RATING.
- C. COORDINATE LIGHT FIXTURE LOCATIONS WITH DOORS, MECHANICAL EQUIPMENT AND FIRE SPRINKLERS. NOTIFY THE ARCHITECT IF THERE IS A DISCREPANCY.
- D. RELOCATE EXISTING HVAC AIR DEVICES AS REQUIRED. EXTEND OR OTHERWISE MODIFY DUCTWORK TO MAINTAIN PROPER PERFORMANCE OF THE SYSTEM.
- E. RELOCATE FIRE SUPPRESSION SPRINKLER HEADS AS REQUIRED. EXTEND OR MODIFY PIPING AS REQUIRED TO RESULT IN A CODE COMPLIANT SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE ENGINEERED DESIGN AND SUBMIT TO THE CITY FOR APPROVAL.

RCP LEGEND

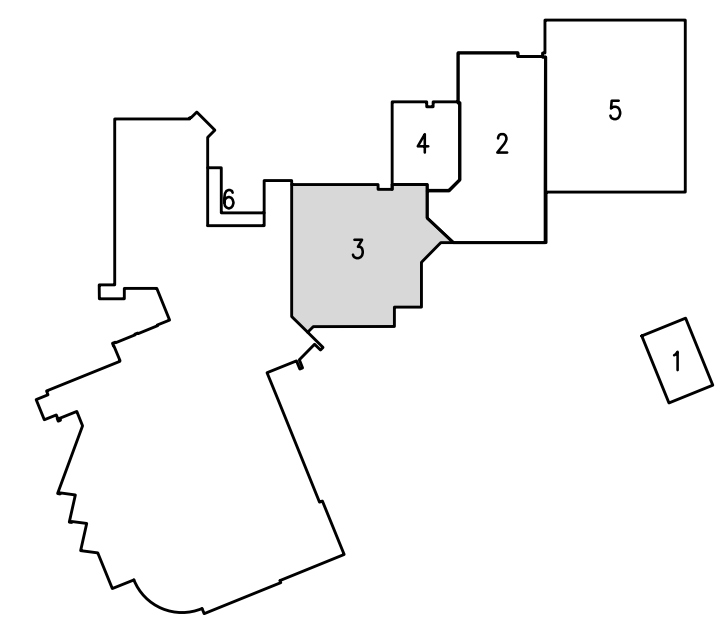
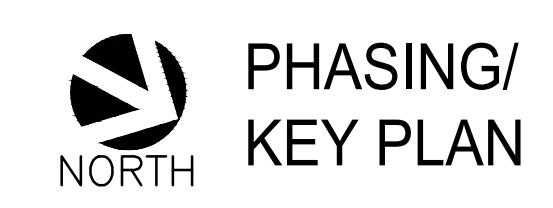
- 2x4 LAY-IN TROFFER LED LIGHT FIXTURE
- 2x2 LAY-IN TROFFER LED LIGHT FIXTURE
- SURFACE MOUNT LED LIGHT FIXTURE
- WALL PACK
- SCONCE WALL MOUNT FIXTURE
- PENDANT WALL MOUNT FIXTURE
- LED COVE STRIP LIGHT
- WALL MOUNTED LIGHT FIXTURE
- PENDANT LIGHT/ CHANDELIER
- RECESSED DOWNLIGHT FIXTURE
- EXIT LIGHT
- SUSPENDED CEILING
- AREA NOT AFFECTED DURING THIS PHASE

RCP NOTES BY NUMBER (#)

- 1. 2x2 A.C.T SUSPENDED CEILING W/ 6" R-19 FIBERGLASS INSULATION OVER.
- 2. NEW 1-HR FIRE RATED GYPSUM BOARD CEILING, GA FILE NO. RC-2601. RE: RCP AND DETAILS.
- 3. EXISTING CEILING AND LIGHTING TO REMAIN.
- 4. NEW STANDING SEAM METAL ROOF ON EXISTING METAL AWNING STRUCTURE.
- 5. LIGHT COVE WITH LED COVE STRIP LIGHT.
- 6. CEILING OPEN TO DECK.
- 7. PENDANT LIGHTING SUSPENDED FROM ROOF STRUCTURE.
- 8. DECORATIVE RECESSED WOOD RAFTERS/BEAMS.
- 9. SUSPENDED LINEAR LIGHT FIXTURE.
- 10. EXISTING LIGHTING FIXTURE TO REMAIN.

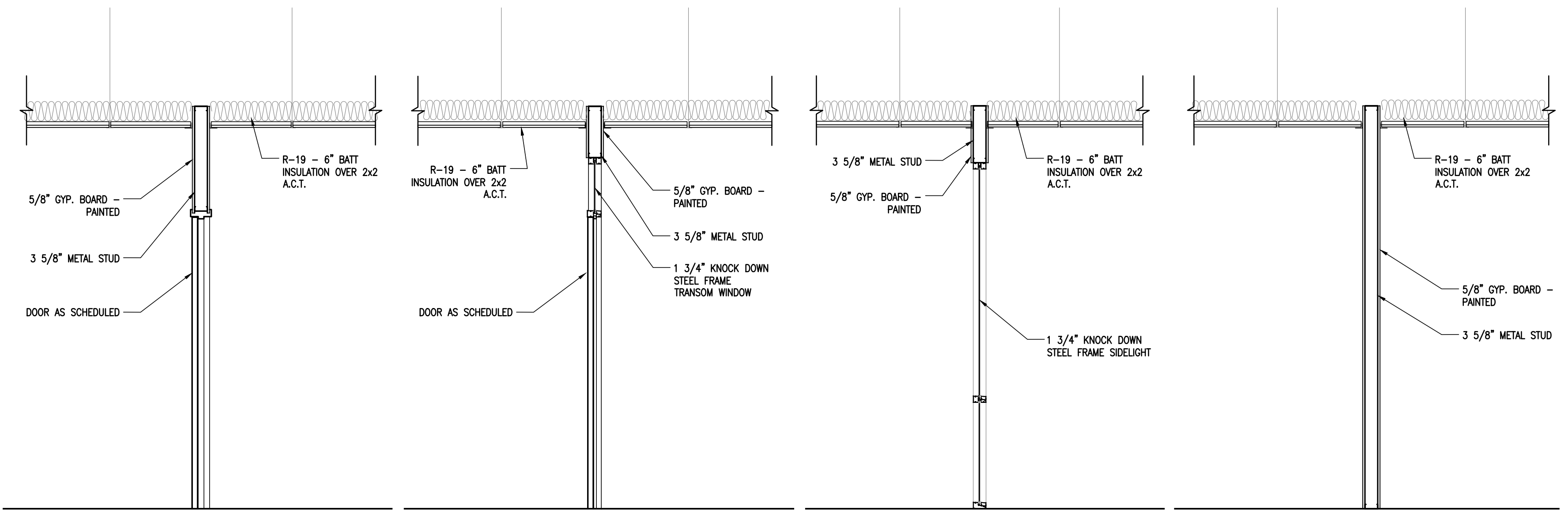


01 PHASE 3 RCP  
A3.5 SCALE: 1/8"=1'-0"



PROSTUD FULL COMPOSITE LIMITING HEIGHTS					
5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	17'-1"
				16	15'-6"
				24	13'-6"
	PROSTUD 20 362PDS125-18	0.0190	70	12	18'-2"
				16	16'-10"
				24	15'-1"
	PROSTUD 30 362PDS125-30	0.0312	33	12	20'-5"
				16	18'-6"
				24	16'-2"
	PROSTUD 33 362PDS125-33	0.0346	33	12	21'-2"
				16	19'-2"
				24	16'-9"

PROSTUD NON-COMPOSITE LIMITING HEIGHTS					
5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	12'-5"
				16	10'-9"
				24	8'-9"
	PROSTUD 20 362PDS125-18	0.0190	70	12	14'-6"
				16	13'-2"
				24	10'-9"
	PROSTUD 30 362PDS125-30	0.0312	33	12	17'-4"
				16	15'-9"
				24	13'-9"
	PROSTUD 33 362PDS125-33	0.0346	33	12	17'-11"
				16	16'-3"
				24	14'-3"

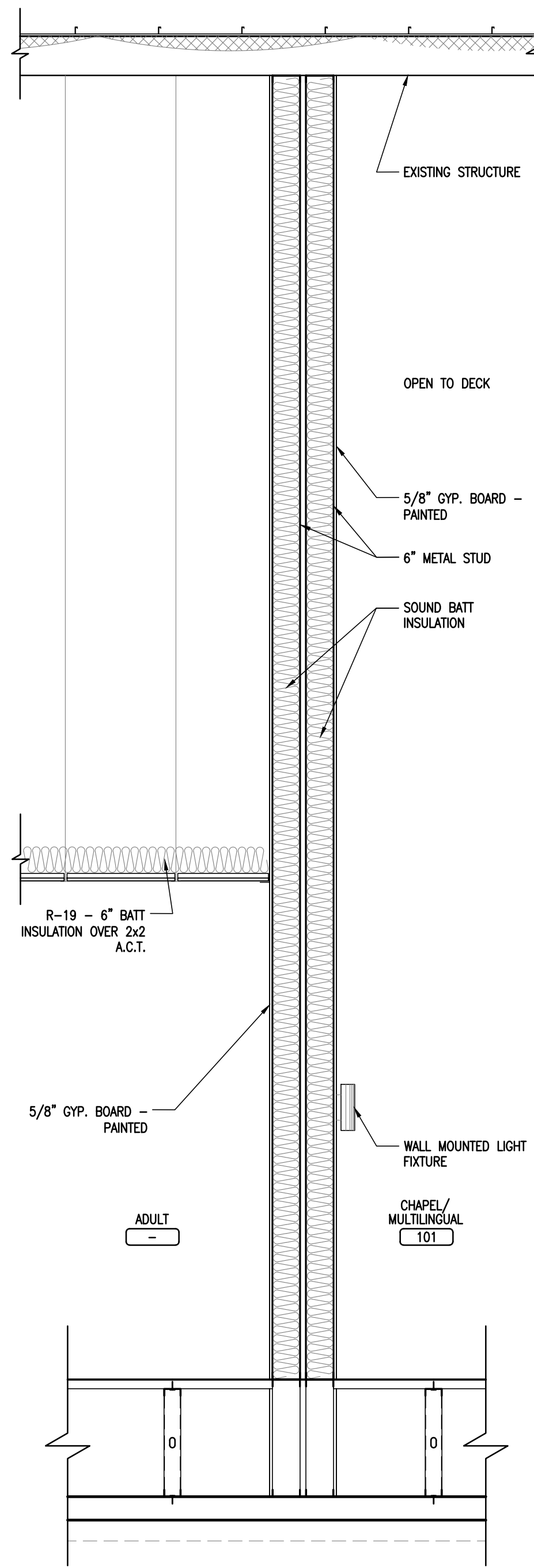


07 WALL SECTION  
A3.6 SCALE: 1/2"=1'-0"

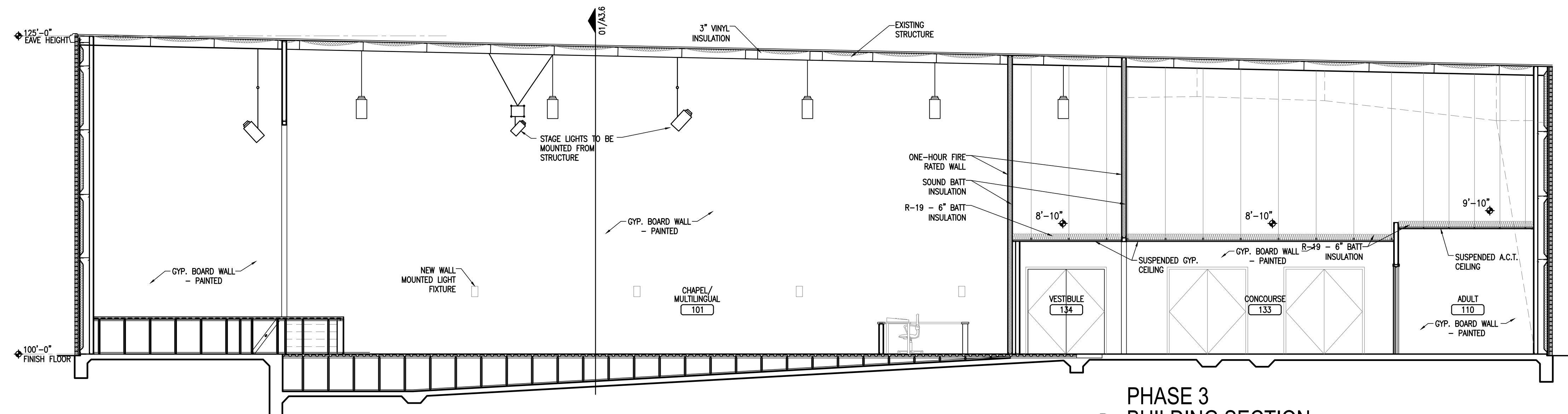
06 WALL SECTION  
A3.6 SCALE: 1/2"=1'-0"

05 WALL SECTION  
A3.6 SCALE: 1/2"=1'-0"

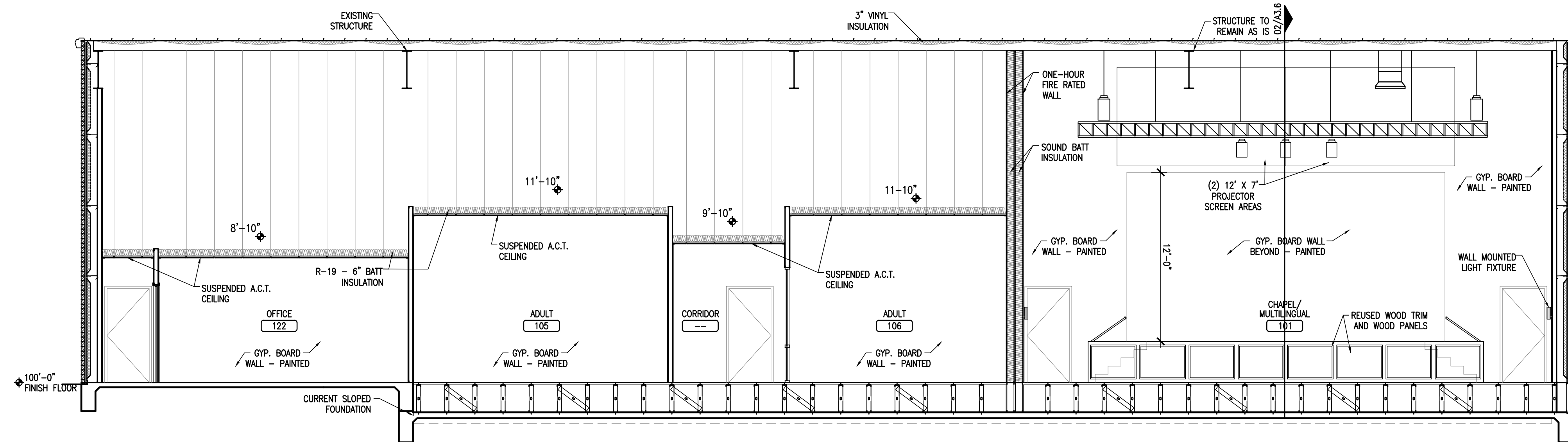
04 WALL SECTION  
A3.6 SCALE: 1/2"=1'-0"



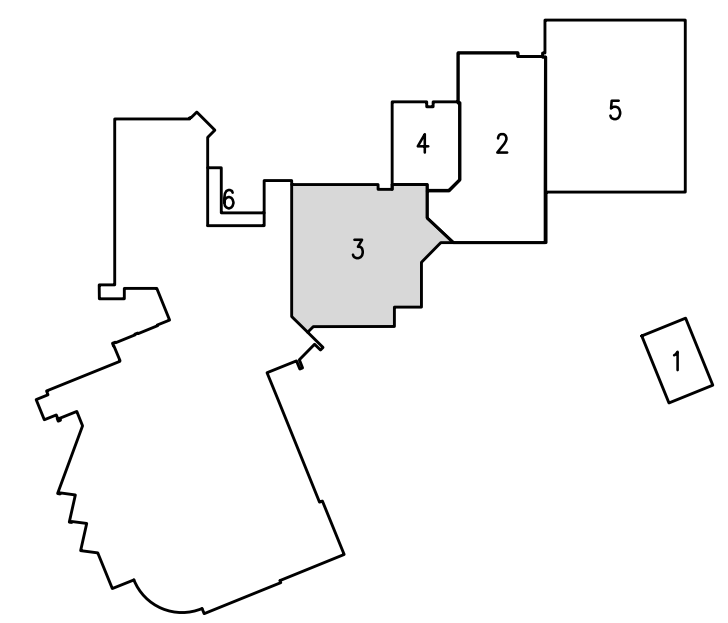
03 WALL SECTION  
A3.6 SCALE: 1/2"=1'-0"



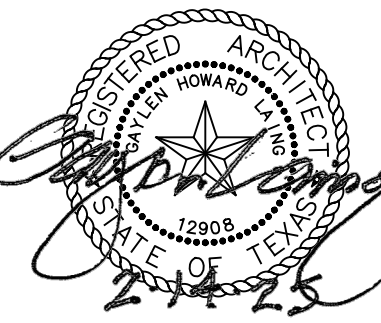
02 PHASE 3 BUILDING SECTION  
A3.6 SCALE: 3/16"=1'-0"



01 PHASE 3 BUILDING SECTION  
A3.6 SCALE: 3/16"=1'-0"



PHASING/  
NORTH KEY PLAN



DATE: 08/14/24

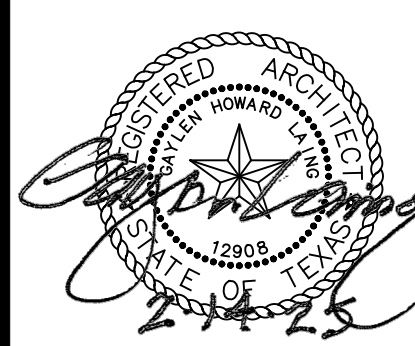
ISSUE:

REVISION:

SHEET TITLE:

PHASE 3  
BUILDING  
SECTION

**A3.6**



DATE: 08/14/24

ISSUE:  
-

REVISION:  
-  
-  
-

SHEET TITLE:

PHASE 4 DEMO  
FLOOR PLAN

**A4.0**

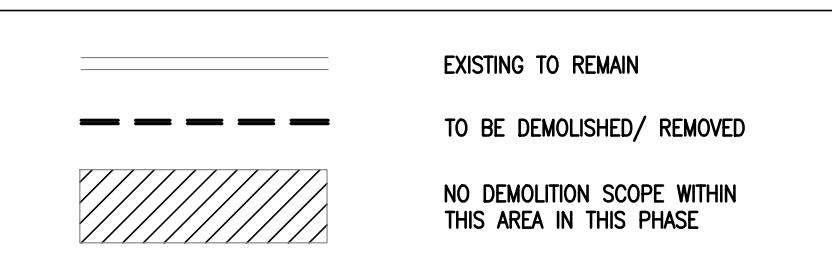
GENERAL DEMOLITION NOTES

- REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
- ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
- CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
- COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
- PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
- DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS. REFURBISH EXISTING DOORS AND FRAMES REUSED.
- LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
- MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
- FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS. CONTRACTOR TO FIELD VERIFY.
- REMOVE ALL FLOORING THROUGHOUT. U.O.N. FLOORING INCLUDES CARPET, WOOD FLOORING, VCT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
- PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
- ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.

DEMOLITION NOTES BY NUMBERS ○

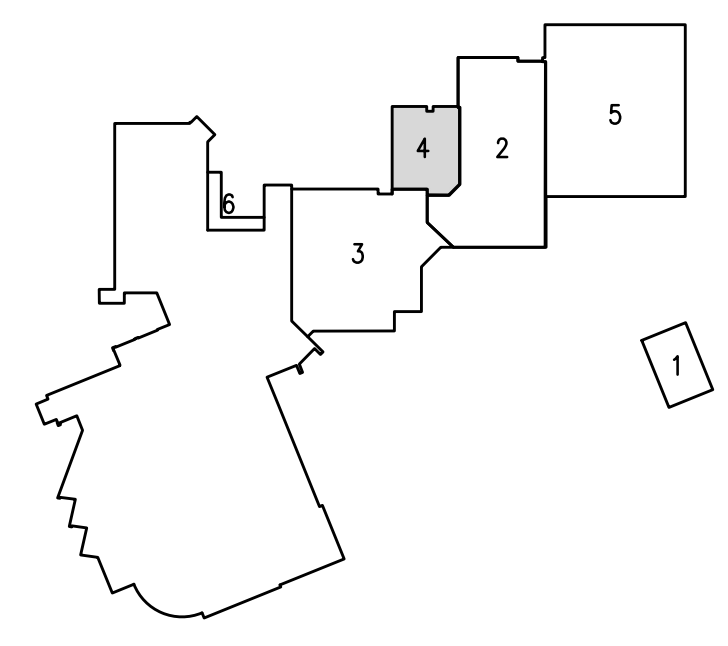
- REMOVE EXISTING WALL (DASHED).
- REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
- REMOVE EXISTING CABINETS.
- REMOVE EXISTING WINDOW.
- REMOVE EXISTING LIGHT FIXTURE(S).
- REMOVE EXISTING PLUMBING FIXTURE.
- REMOVE EXISTING LAY-IN CEILING.
- EXISTING CEILING AND LIGHTING TO REMAIN.
- REMOVE EXISTING TOILET PARTITIONS.
- REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
- REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
- REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
- STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
- REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
- REMOVE BAPTISTERY.
- REMOVE ROLLING COUNTER SHUTTER.
- REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
- DISMANTLE AND REMOVE PORTABLE DESK.
- REMOVE EXISTING STEEL DOOR(S) AND FRAME.
- EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
- CONDENSING UNIT TO BE REMOVED AND RELOCATED.

DEMOLITION LEGEND



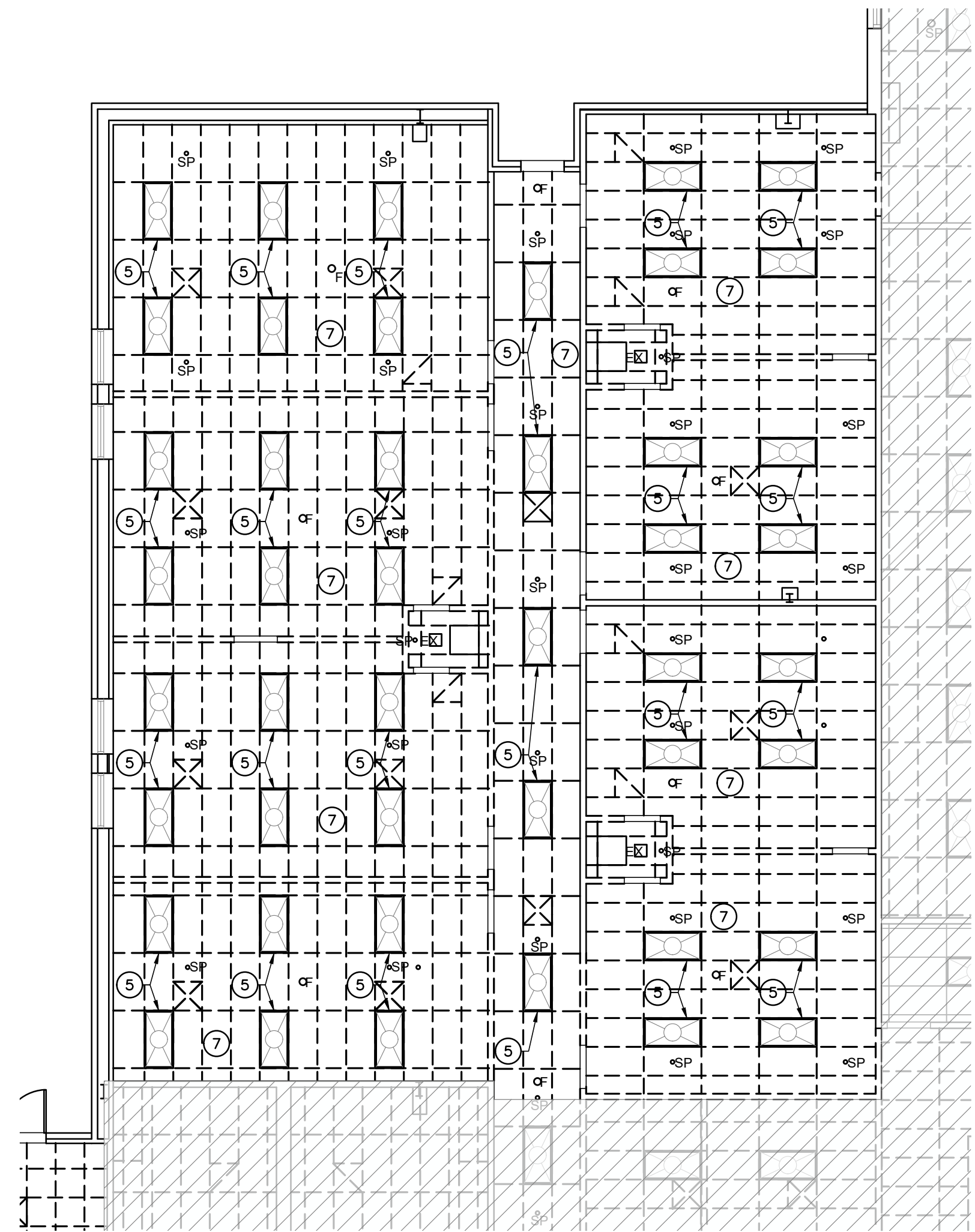
AREA PER PHASE

PHASE 4	4,430 SQ. FT.
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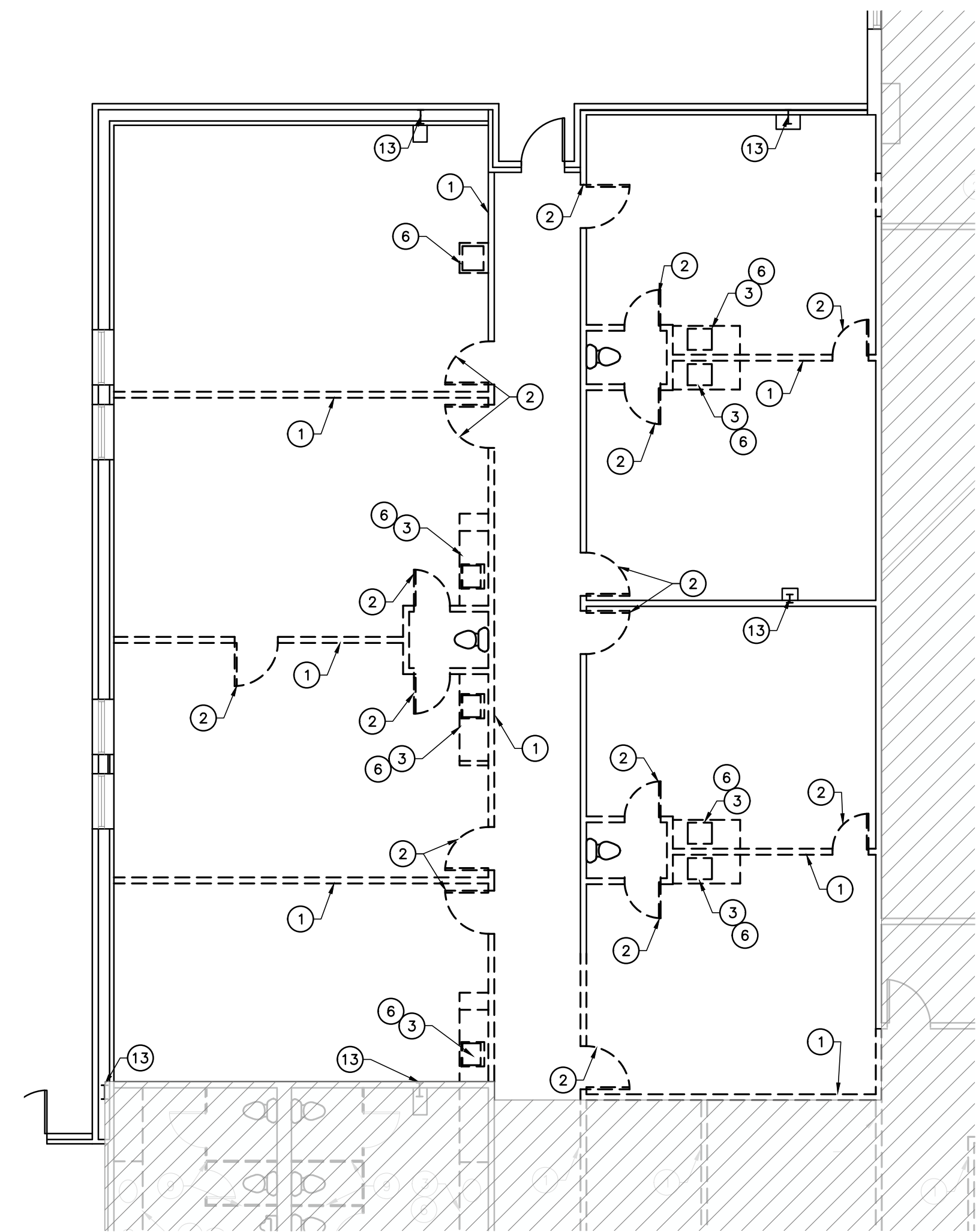


KEY PLAN

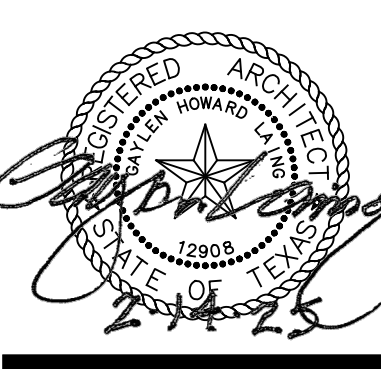
NORTH



**02 PHASE 4 DEMO RCP**  
SCALE: 1/8"=1'-0"  
NORTH



**01 PHASE 4 DEMO PLAN**  
SCALE: 1/8"=1'-0"  
NORTH



DATE: 08/14/24

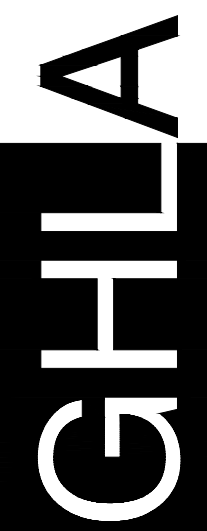
ISSUE:

REVISION:

SHEET TITLE:

PHASE 4  
FLOOR PLAN &  
INT. ELEVATIONS

A4.1



GENERAL FLOOR PLAN NOTES

- REFER TO MEP DRAWINGS FOR MORE INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE OWNER AND ARCHITECT OF ANY CONFLICT PRIOR TO THE COMMENCEMENT OF WORK.
- PROVIDE WOOD BLOCKING FOR ALL ITEMS OR EQUIPMENT FASTENING INTO DRYWALL PARTITIONS, TYPICAL. FOR TV LOCATIONS, PROVIDE 12" HIGH X 16" WIDE BLOCKING W/ CENTER AT 60" A.F.F. FOR BEDSIDE TV'S PROVIDE BLOCKING AS RECOMMENDED BY MANUFACTURER.
- ALL PUBLIC USE DOORS SHALL HAVE HC ACCESSIBLE CLEAR FLOOR SPACE. NOTIFY ARCHITECT OF ANY CONFLICT TO COMPLIANCE.
- REFER TO SHEET G2.1 & G2.2 FOR ACCESSIBILITY REQUIREMENT INCLUDING CLEAR FLOOR SPACE, MOUNTING HEIGHTS, CABINET CLEARANCES, ETC... THAT MUST BE MAINTAINED.
- SEAL ALL PENETRATIONS IN RATED ASSEMBLIES TO MAINTAIN THE REQUIRED RATING.
- WHERE WALLS AND PARTITIONS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATED ASSEMBLY, STEEL ELECTRICAL BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY THE FOLLOWING:
  - BY HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES.
  - BY SOLID FIRE BLOCKING IN ACCORDANCE WITH SECTION 717.2.1 OF 2018 INTERNATIONAL BUILDING CODE, WHICH STATES THAT FIRE BLOCKING MATERIALS SHALL CONSIST OF 2-INCH NOMINAL LUMBER.
  - BY PROTECTING BOTH OUTLET BOXES WITH LISTED PUTTY PADS.
- WHERE OCCUPIED SPACES ARE OPEN TO DECK, EXPOSED STRUCTURE, PIPE, DUCTWORK, AND DRYWALL SHALL BE PREPARED FOR PAINT.
- FLOORING TRANSITIONS BETWEEN ROOMS SHALL OCCUR BENEATH DOORS IN THE CLOSED POSITIONS, TYP.

FLOOR PLAN NOTES BY NUMBER (O)

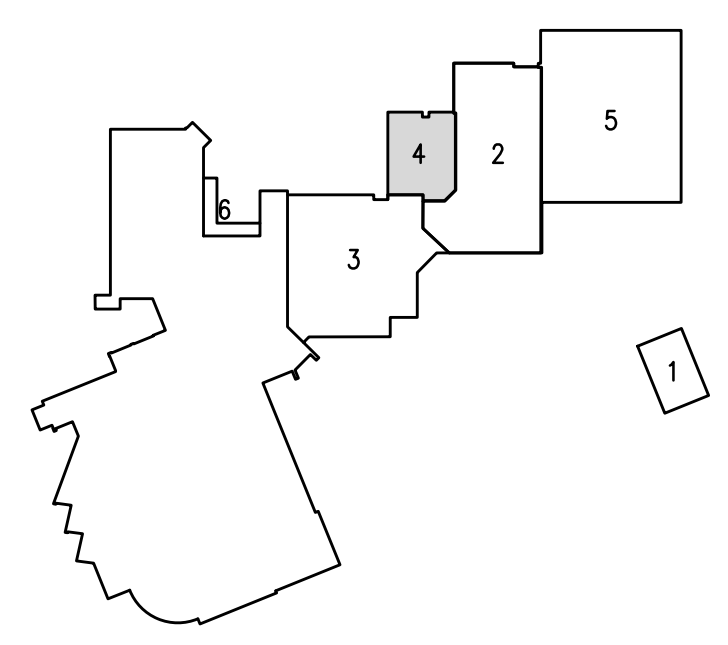
- NEW METAL FRAMED WALL. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
- NEW ALUMINUM FRAME AND GLASS PARTITION WALLS
- NEW EXTERIOR INFILL WALL TO MATCH EXISTING..
- RELOCATE EXISTING STOREFRONT DOOR & WINDOW UNITS.
- EXTEND NEW & EXISTING WALLS FULL HEIGHT TO DECK.
- REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW WALL CONFIGURATION.

GENERAL RCP NOTES

- ALL 1 HOUR PARTITION WALLS SHALL TERMINATE TO THE BOTTOM OF THE 1-HOUR ROOF/CEILING ASSEMBLY.
- ALL PENETRATIONS THROUGH RATED WALLS SHALL BE FIRE-STOPPED AS REQUIRED TO MAINTAIN WALL RATING.
- COORDINATE LIGHT FIXTURE LOCATIONS WITH DOORS, MECHANICAL EQUIPMENT AND FIRE SPRINKLERS. NOTIFY THE ARCHITECT IF THERE IS A DISCREPANCY.
- RELOCATE EXISTING HVAC AIR DEVICES AS REQUIRED. EXTEND OR OTHERWISE MODIFY DUCTWORK TO MAINTAIN PROPER PERFORMANCE OF THE SYSTEM.
- RELOCATE FIRE SUPPRESSION SPRINKLER HEADS AS REQUIRED. EXTEND OR MODIFY PIPING AS REQUIRED TO RESULT IN A CODE COMPLIANT SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE ENGINEERED DESIGN AND SUBMIT TO THE CITY FOR APPROVAL.

RCP NOTES BY NUMBER (#)

- 2x2 A.C.T SUSPENDED CEILING W/ 6" R-19 FIBERGLASS INSULATION OVER.
- NEW 1-HR FIRE RATED GYPSUM BOARD CEILING, GA FILE NO. RC-2601. RE: RCP AND DETAILS.
- EXISTING CEILING AND LIGHTING TO REMAIN.
- NEW STANDING SEAM METAL ROOF ON EXISTING METAL AWNING STRUCTURE.
- LIGHT COVE WITH LED COVE STRIP LIGHT.
- CEILING OPEN TO DECK.
- PENDANT LIGHTING SUSPENDED FROM ROOF STRUCTURE.
- DECORATIVE RECESSED WOOD RAFTERS/BEAMS.
- SUSPENDED LINEAR LIGHT FIXTURE.
- EXISTING LIGHTING FIXTURE TO REMAIN.



PHASING/  
KEY PLAN

P4 DOOR SCHEDULE

DOOR NO.	TYPE	SIZE	MATL	FRAME TYPE	MATL	FIRE	HW
114	5	3'-0" X 7'-0"	WD	C	STL		1
115	-	3'-0" X 7'-0"	WD	-	-	EXIST.	
116	5	3'-0" X 7'-0"	WD	C	STL		1
117	5	3'-0" X 7'-0"	WD	C	STL		1
118	5	3'-0" X 7'-0"	WD	C	STL		1
119	5	3'-0" X 7'-0"	WD	C	STL		1
144	5	3'-0" X 7'-0"	WD	D	STL		5
145	5	3'-0" X 7'-0"	WD	D	STL		3
146	5	3'-0" X 7'-0"	WD	D	STL		5
501A	5	3'-0" X 7'-0"	WD	D	STL		1

**GENERAL NOTES**

- ALL DOORS TO BE 1 3/4" U.O.N.O..
- EXIT DEVICES SHALL COME WITH LOCKING LOCKSET ON OPPOSING SIDE OF DOOR.
- DOOR SURFACES WITHIN 10" OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR.

**DOOR/FRAME MATERIAL**

PLAM PLASTIC LAMINATE CLAD  
HML HOLLOW/PRESSED METAL  
MTL METAL

STL STEEL  
ALUM ALUMINUM STOREFRONT

RCP LEGEND

- 2x4 LAY-IN TROFFER LED LIGHT FIXTURE
- 2x2 LAY-IN TROFFER LED LIGHT FIXTURE
- SURFACE MOUNT LED LIGHT FIXTURE
- WALL PACK
- SCONCE WALL MOUNT FIXTURE
- PENDANT WALL MOUNT FIXTURE
- LED COVE STRIP LIGHT
- WALL MOUNTED LIGHT FIXTURE
- PENDANT LIGHT/ CHANDELIER
- RECESSED DOWNLIGHT FIXTURE
- EXIT LIGHT
- SUSPENDED CEILING
- AREA NOT AFFECTED DURING THIS PHASE

P4 ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
114	CLASSROOM	CPT	VB	P	ACT	
115	CLASSROOM	CPT	VB	P	ACT	
116	JOY/MULTI-ABILITY	CPT	VB	P	OPEN	
117	CLASSROOM	CPT	VB	P	ACT	
118	CLASSROOM	CPT	VB	P	ACT	
119	CLASSROOM	CPT	VB	P	ACT	
143	CORRIDOR	LVP	VB	P	ACT	
144	TOILET	LVP	VB	P	ACT	
145	STORAGE	LVP	VB	P	ACT	
146	TOILET	LVP	VB	P	ACT	

**FLOORING:**  
CPT CARPET TILE  
LVP LUXURY VINYL PLANK  
ETR EXISTING TO REMAIN  
PT PORCELAIN TILE  
SC SEALED CONCRETE

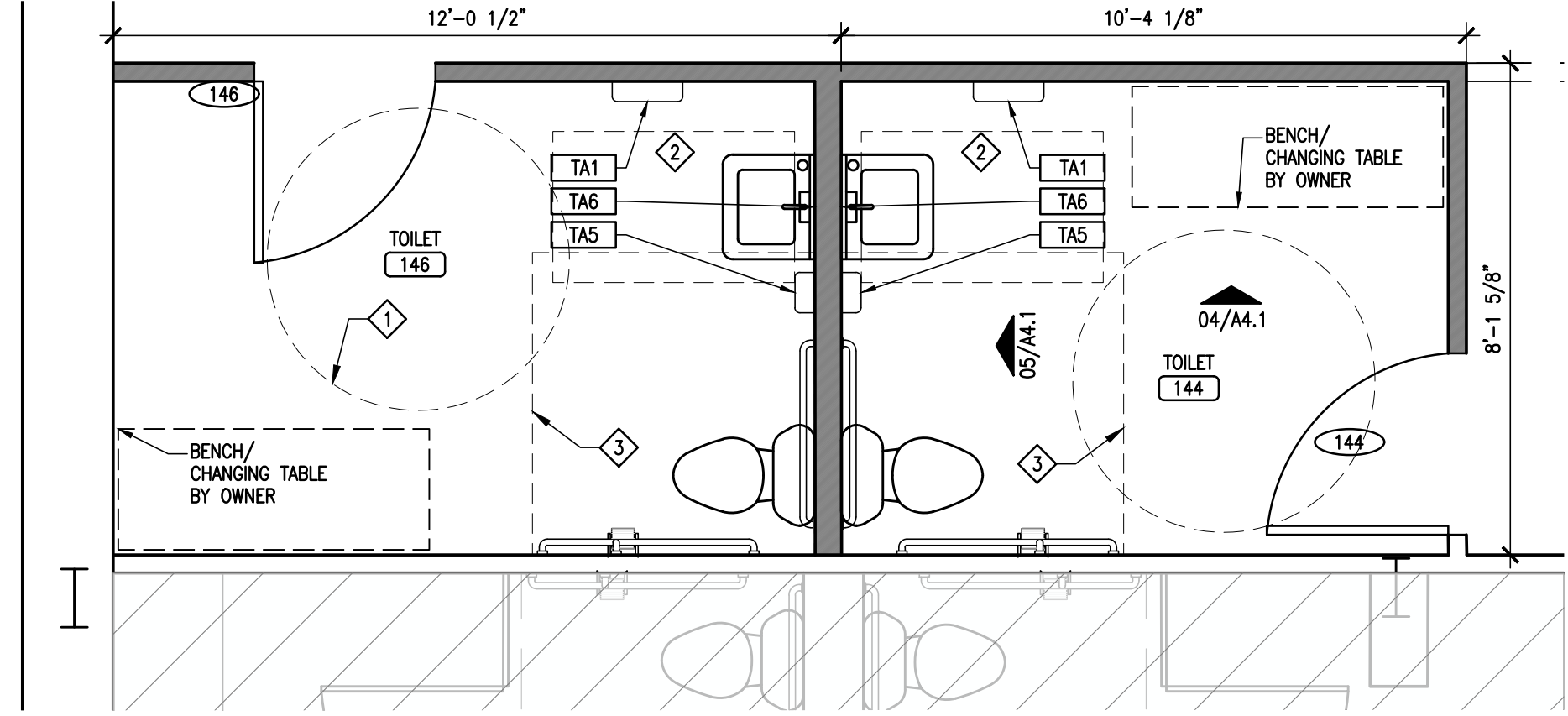
**WALLS:**  
P PAINT AND TEXTURE ON GYP. BD.  
CT PORCELAIN TILE  
EPX EPOXY PAINT COATING

**BASE:**  
VB VINYL BASE

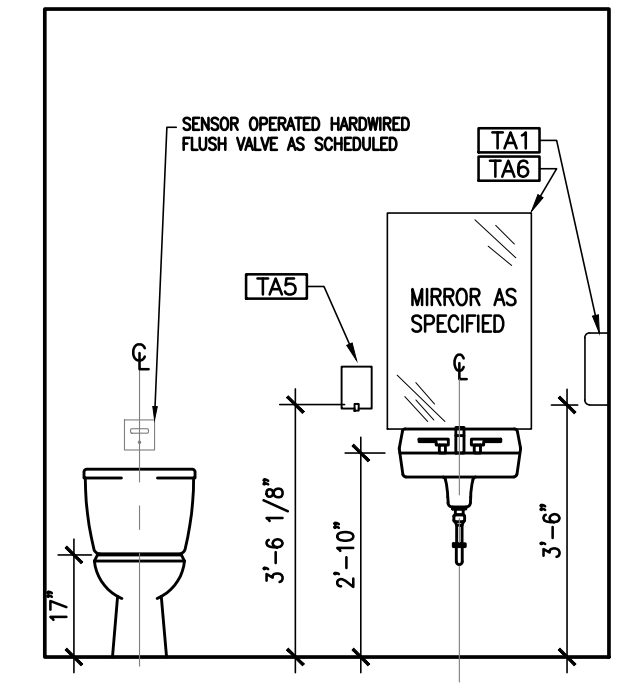
**CEILING:**  
P PAINT AND TEXTURE ON GYP. BD.  
ACT LAY-IN ACOUSTICAL TILE

**GENERAL NOTES:**

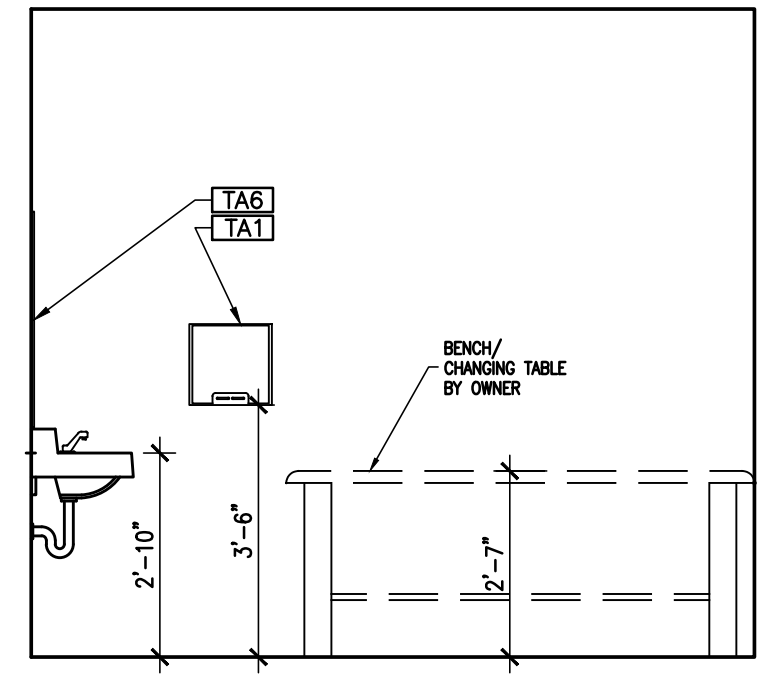
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.
- BASE IN BATHROOMS SHALL BE 4" TALL.



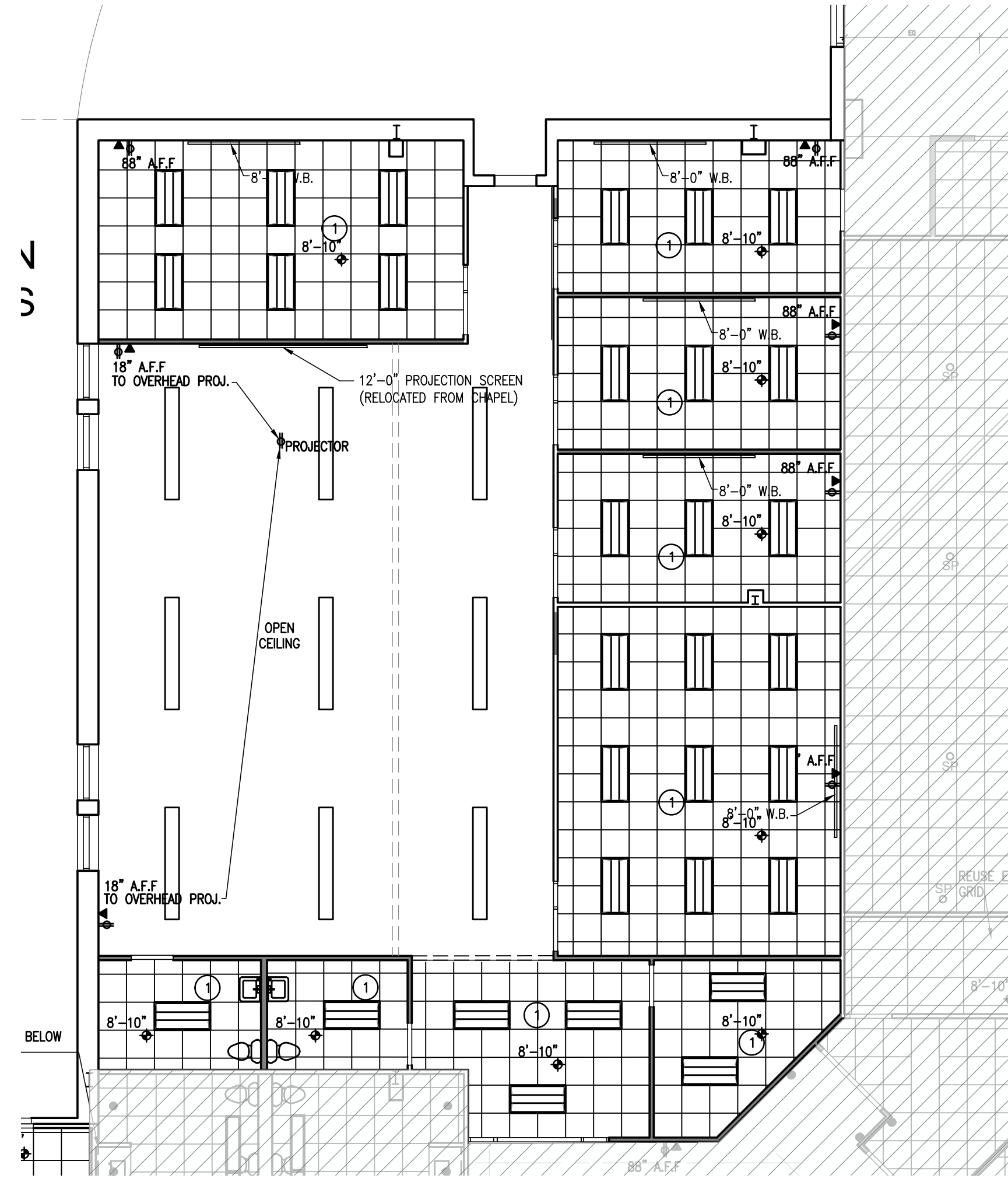
03 PHASE 4 FLOOR PLAN  
SCALE: 3/8"=1'-0"



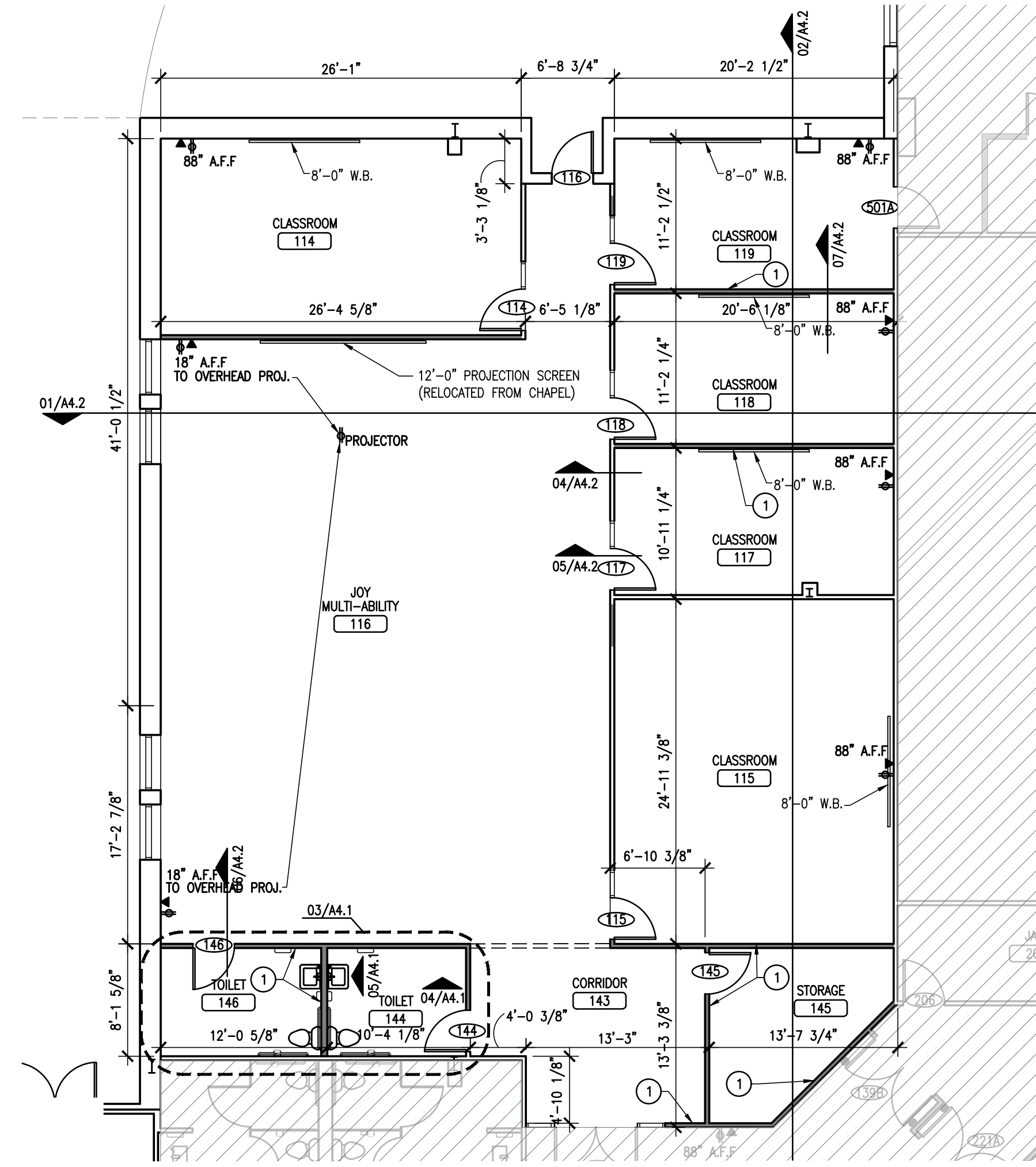
05 INT. ELEVATION - TOILET  
SCALE: 3/8"=1'-0"



04 INT. ELEVATION - TOILET  
SCALE: 3/8"=1'-0"



02 PHASE 4 REFLECTED CEILING PLAN  
SCALE: 1/8"=1'-0"



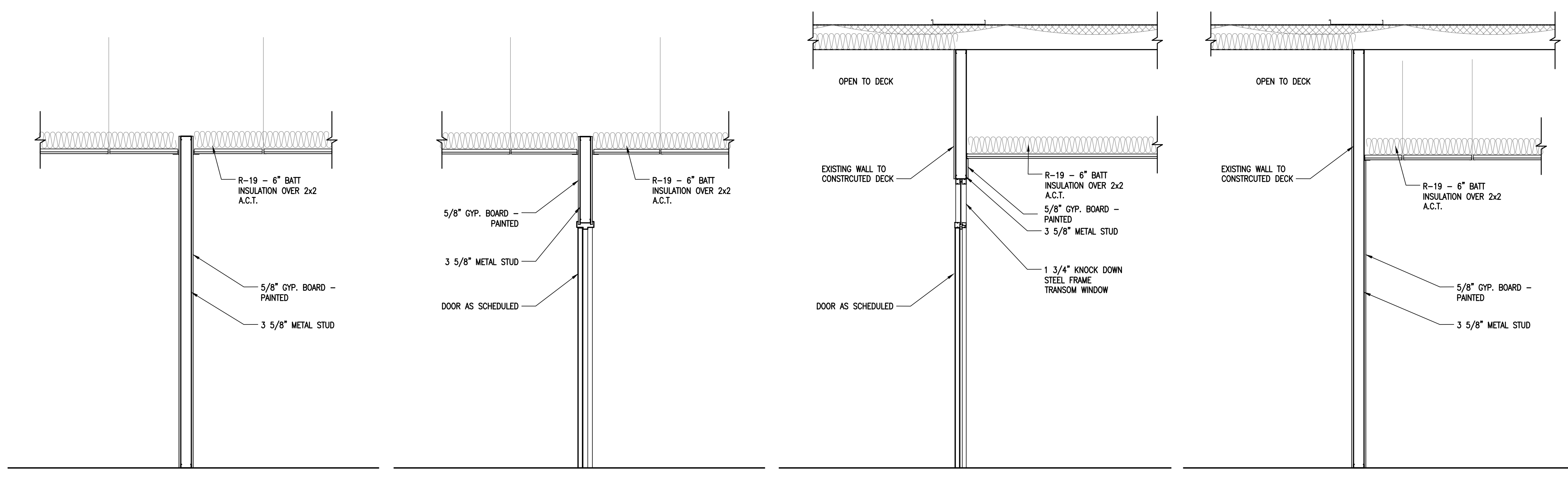
01 PHASE 4 FLOOR PLAN  
SCALE: 1/8"=1'-0"

TOILET ACCESSORIES

- T1A1 EMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
  - T1A2 TOILET TISSUE DISPENSER - DOUBLE ROLL
  - T1A3 36" GRAB BAR
  - T1A4 42" GRAB BAR
  - T1A5 AUTOMATIC SOAP DISPENSER - DECK MOUNTED
  - T1A6 SANITARY NAPKIN DISPOSAL UNIT
  - T1A7 24" X 36" WALL MOUNTED MIRROR
  - T1A8 SOAP DISPENSER - WALL MOUNTED
  - T1A9 UNFRAMED MIRROR
- SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13

CLEAR FLOOR SPACE

- 1 60" TURNING DIAMETER
- 2 30" x 48" CLEAR FLOOR SPACE
- 3 60" x 56" CLEAR FLOOR SPACE
- 4 48" x 60" CLEAR FLOOR SPACE
- 5 36" x 48" CLEAR FLOOR SPACE
- 6 36" x 60" CLEAR FLOOR SPACE
- 7 42" x 58" CLEAR FLOOR SPACE
- 8 54" x 60" CLEAR FLOOR SPACE
- 9 48" x 48" CLEAR FLOOR SPACE
- 10 58" x 42" CLEAR FLOOR SPACE



**06 WALL SECTION**  
A4.2 SCALE: 1/2"=1'-0"

**05 WALL SECTION**  
A4.2 SCALE: 1/2"=1'-0"

**04 WALL SECTION**  
A4.2 SCALE: 1/2"=1'-0"

**03 WALL SECTION**  
A4.2 SCALE: 1/2"=1'-0"

**PROSTUD FULL COMPOSITE LIMITING HEIGHTS** \*\*

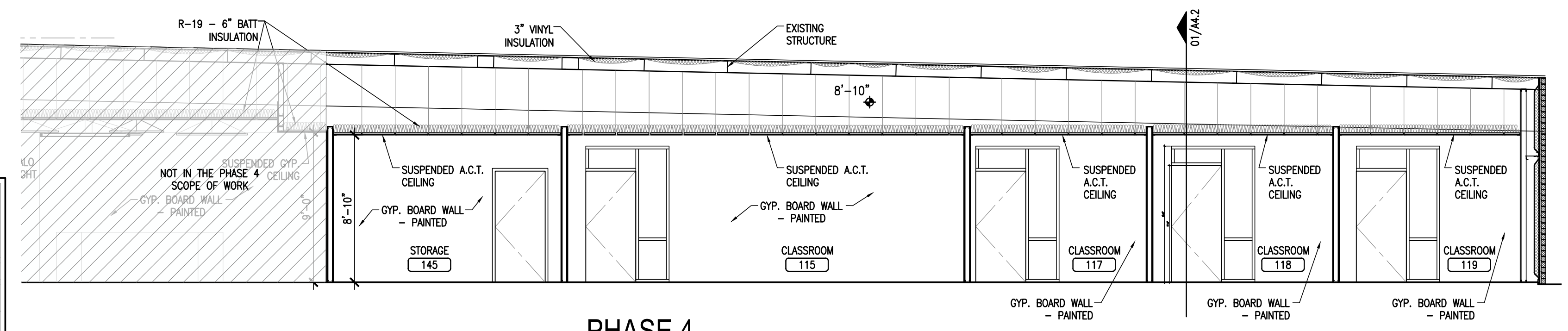
\*\* TAKEN FROM THE 2025 CLARK DIETRICH PRO STUD PRODUCT CATALOG FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON NON-LOAD BEARING WALL CONSTRUCTION.

5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	17'-1"
				16	15'-6"
				24	13'-6"
	PROSTUD 20 362PDS125-18	0.0190	70	12	18'-2"
				16	16'-10"
				24	15'-1"
	PROSTUD 30 362PDS125-30	0.0312	33	12	20'-5"
				16	18'-6"
				24	16'-2"
	PROSTUD 33 362PDS125-33	0.0346	33	12	21'-2"
				16	19'-2"
				24	16'-9"

**PROSTUD NON-COMPOSITE LIMITING HEIGHTS** \*\*

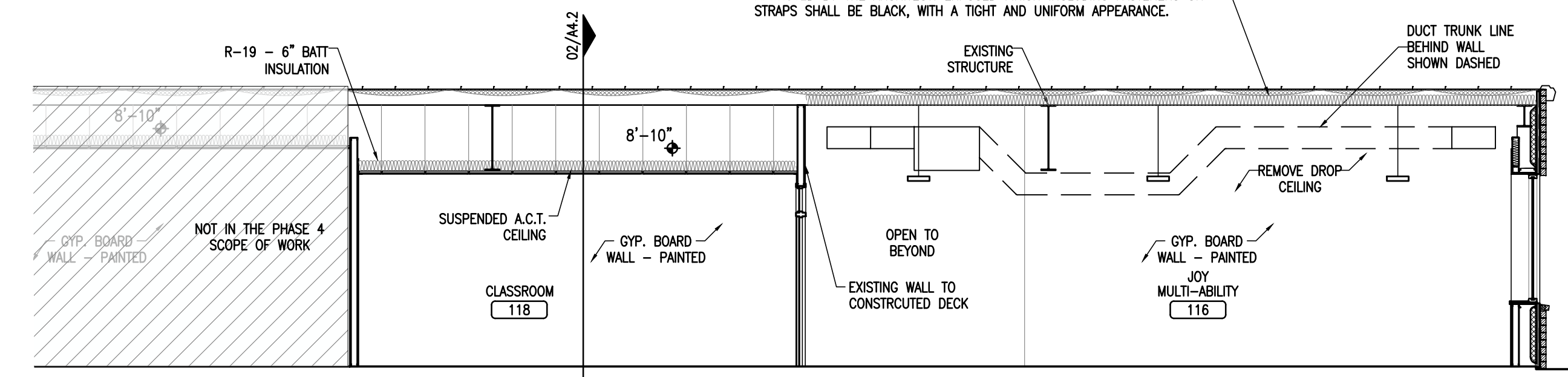
\*\* TAKEN FROM THE 2025 CLARK DIETRICH PRO STUD PRODUCT CATALOG FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON NON-LOAD BEARING WALL CONSTRUCTION.

5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	12'-5"
				16	10'-9"
				24	8'-9"
	PROSTUD 20 362PDS125-18	0.0190	70	12	14'-6"
				16	13'-2"
				24	10'-9"
	PROSTUD 30 362PDS125-30	0.0312	33	12	17'-4"
				16	15'-9"
				24	13'-9"
	PROSTUD 33 362PDS125-33	0.0346	33	12	17'-11"
				16	16'-3"
				24	14'-3"

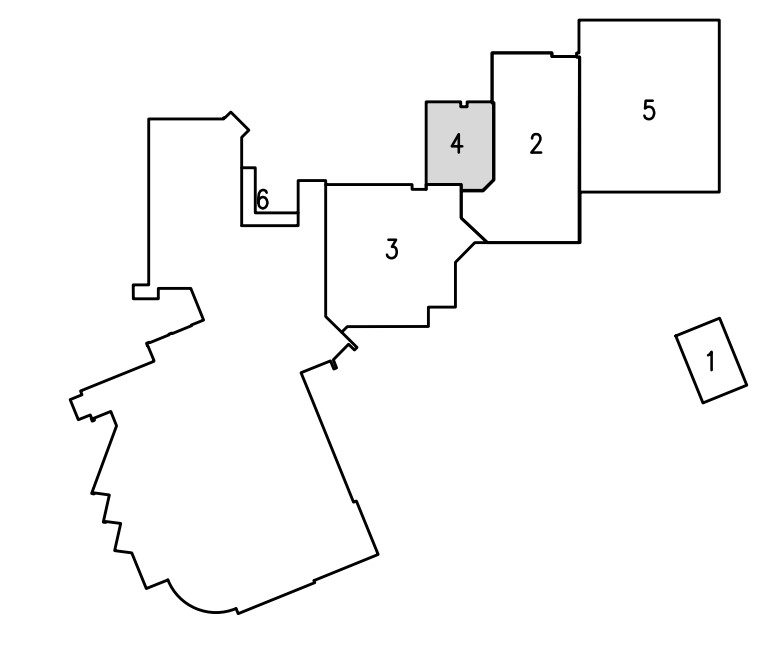


**02 PHASE 4 BUILDING SECTION**  
A4.2 SCALE: 3/16"=1'-0"

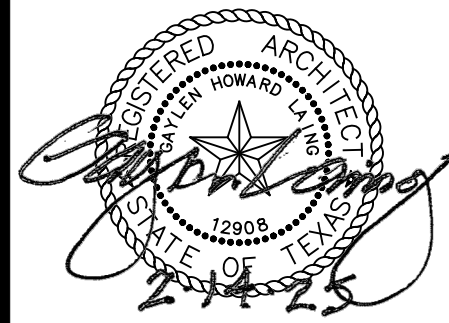
ADD 6" FIBERGLASS BATT RETROFIT INSULATION (STI WMP-10 OR APPROVED EQUAL) OVER EXISTING INSULATION FOR MINIMUM R-VALUE OF R-36. INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. PROPOSED ATTACHMENT METHOD SHALL BE DETERMINED BY EXISTING CONDITIONS AND APPROVED BY THE ARCHITECT. EXPOSED FINISH INCLUDING FASTENERS OR STRAPS SHALL BE BLACK, WITH A TIGHT AND UNIFORM APPEARANCE.



**01 PHASE 4 BUILDING SECTION**  
A4.2 SCALE: 3/16"=1'-0"



**PHASING/  
KEY PLAN**



DATE: 08/14/24

ISSUE:

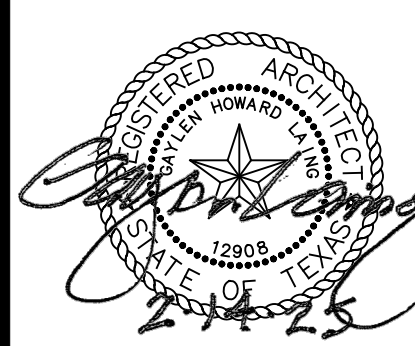
REVISION:

SHEET TITLE:

PHASE 4  
BUILDING  
SECTIONS

**A4.2**





DATE: 08/14/24  
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REVISION:  
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SHEET TITLE:

PHASE 5 DEMO  
FLOOR PLAN

**A5.0**

1300 WEST RANDOL MILL ROAD, ARLINGTON, TEXAS 76012  
817.801.7200  
www.ghila-inc.com

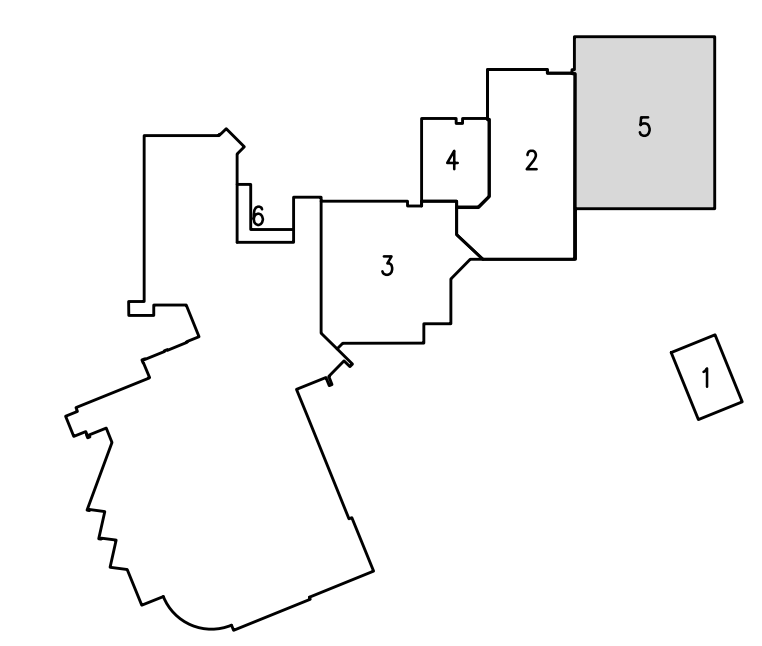
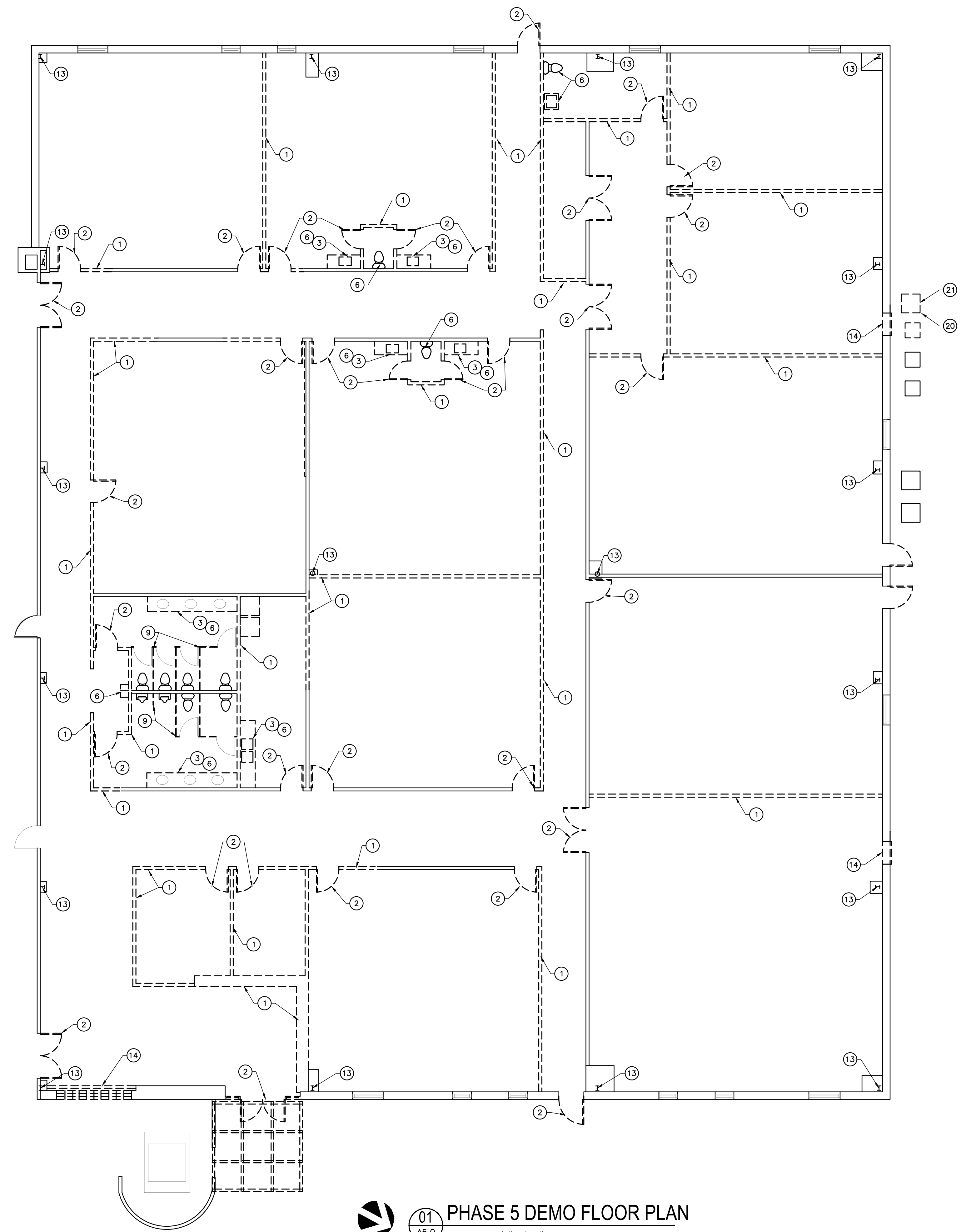
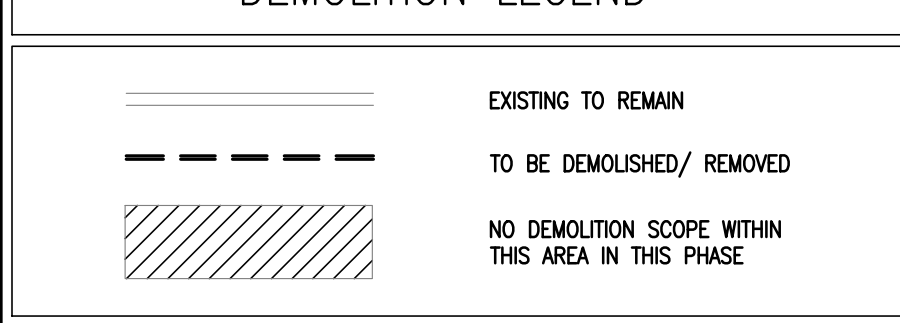
GENERAL DEMOLITION NOTES

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- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
- PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
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DEMOLITION NOTES BY NUMBERS ○

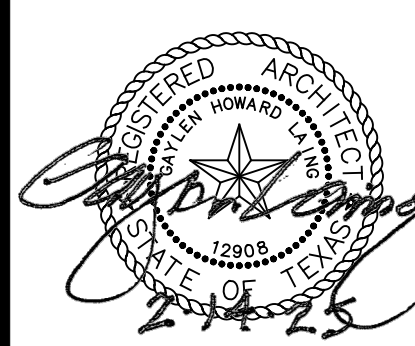
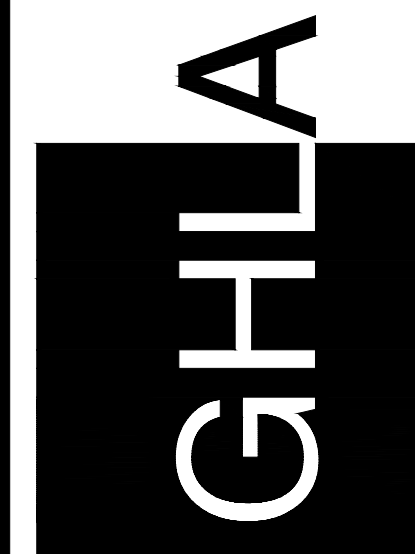
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- REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
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- REMOVE EXISTING WINDOW.
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- REMOVE EXISTING PLUMBING FIXTURE.
- REMOVE EXISTING LAY-IN CEILING.
- EXISTING CEILING AND LIGHTING TO REMAIN.
- REMOVE EXISTING TOILET PARTITIONS.
- REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
- REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
- REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
- STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
- REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
- REMOVE BAPTISTERY.
- REMOVE ROLLING COUNTER SHUTTER.
- REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
- DISMANTLE AND REMOVE PORTABLE DESK.
- REMOVE EXISTING STEEL DOOR(S) AND FRAME.
- EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED.
- CONDENSING UNIT TO BE REMOVED AND RELOCATED.

DEMOLITION LEGEND



**01 PHASE 5 DEMO FLOOR PLAN**  
A5.0 SCALE: 1/8"=1'-0"  
NORTH

**KEY PLAN**  
NORTH



DATE: 08/14/24

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REVISION:

SHEET TITLE:

PHASE 5  
DEMO REFLECTED  
CEILING PLAN

A5.1

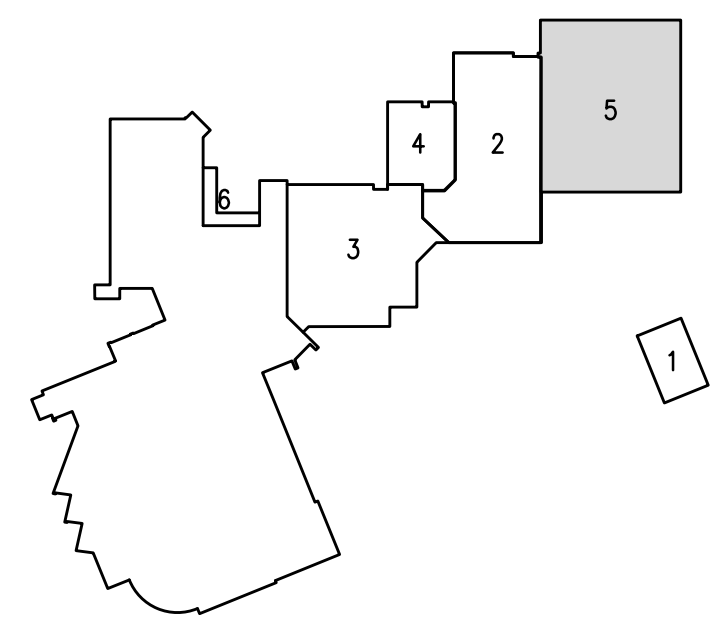
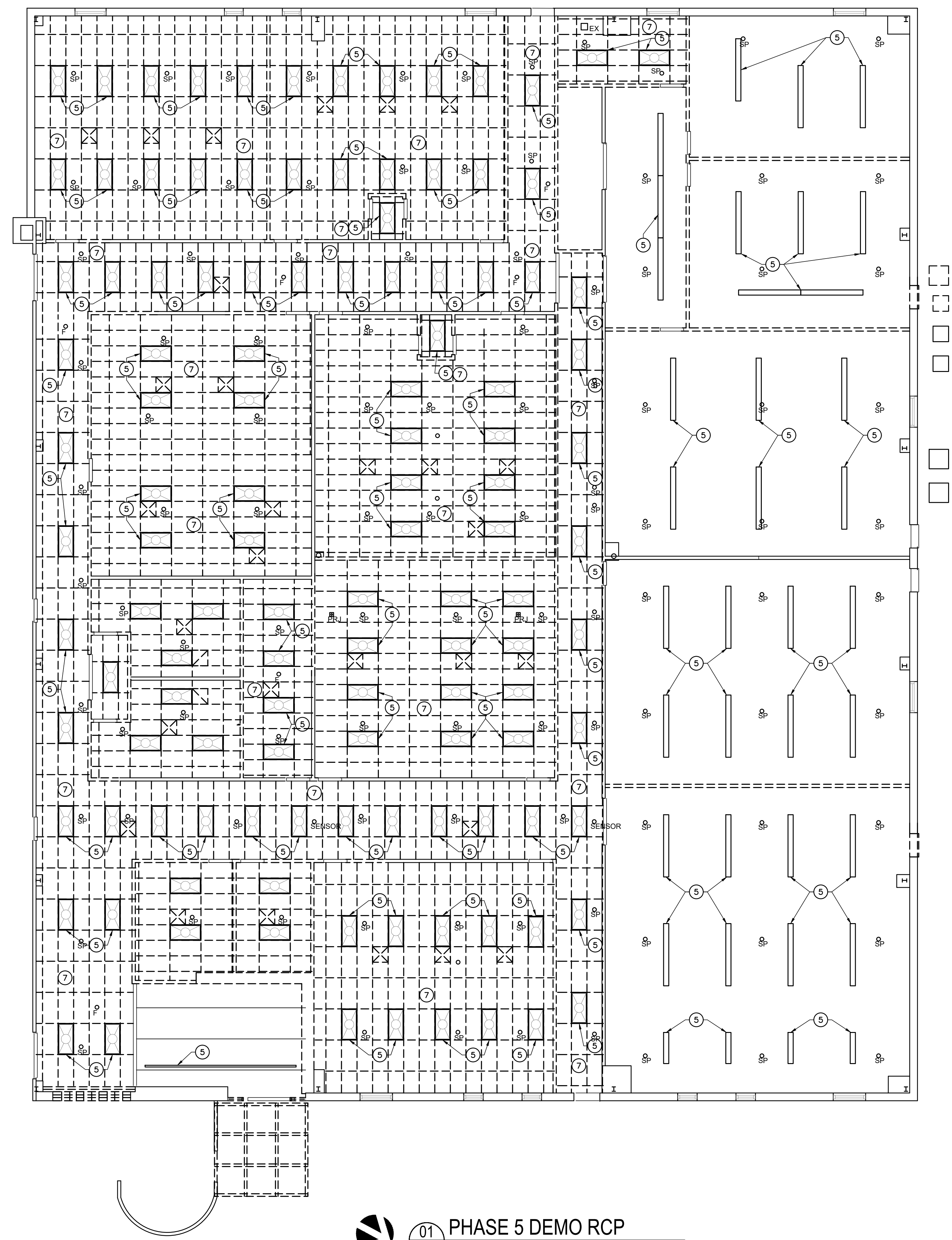
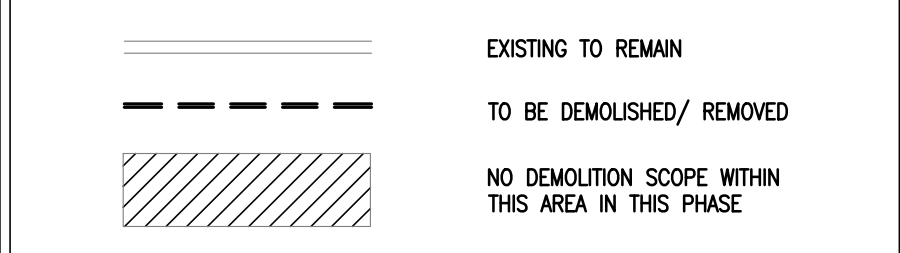
GENERAL DEMOLITION NOTES

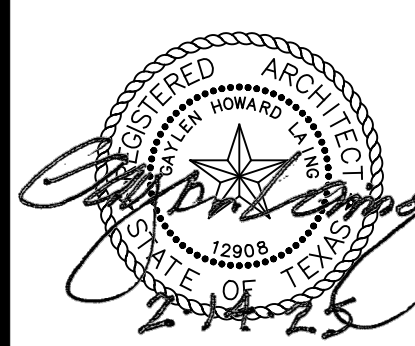
- REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
- ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
- CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
- COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
- PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
- DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS, REFURBISH EXISTING DOORS AND FRAMES REUSED.
- LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
- MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
- FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS. CONTRACTOR TO FIELD VERIFY.
- REMOVE ALL FLOORING THROUGHOUT. U.O.M. FLOORING INCLUDES CARPET, WOOD FLOORING, VCT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
- PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
- ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.

DEMOLITION NOTES BY NUMBERS

- REMOVE EXISTING WALL (DASHED).
- REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
- REMOVE EXISTING CABINETRY.
- REMOVE EXISTING WINDOW.
- REMOVE EXISTING LIGHT FIXTURE(S).
- REMOVE EXISTING PLUMBING FIXTURE.
- REMOVE EXISTING LAY-IN CEILING.
- EXISTING CEILING AND LIGHTING TO REMAIN.
- REMOVE EXISTING TOILET PARTITIONS.
- REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
- REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
- REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
- STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
- REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
- REMOVE BAPTISTERY.
- REMOVE ROLLING COUNTER SHUTTER.
- REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
- DISMANTLE AND REMOVE PORTABLE DESK.
- REMOVE EXISTING STEEL DOOR(S) AND FRAME.
- EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
- CONDENSING UNIT TO BE REMOVED AND RELOCATED.

DEMOLITION LEGEND





DATE: 08/14/24

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REVISION:

SHEET TITLE:

PHASE 5  
FLOOR PLAN

**A5.2**

**P5 DOOR SCHEDULE**

DOOR NO.	TYPE	SIZE	MATL	FRAME	FIRE	HW
204A	5	3'-0" X 7'-0"	WD	C STL		1
220	5	3'-0" X 7'-0"	WD	D STL		1
301	2-3 YEARS	8'-0" X 7'-0"	EXIST.	OVERHEAD GARAGE DOOR		
302	3 YEARS	(2)3'-0" X 7'-0"	EXIST.	RELOCATED		
303	5 YEARS	3'-0" X 7'-0"	WD	C STL		2
304	4 YEARS	3'-0" X 7'-0"	WD	C STL		2
305	5 YEARS	3'-0" X 7'-0"	WD	C STL		1
306	4 YEARS	3'-0" X 7'-0"	WD	C STL		1
307	OFFICE	3'-0" X 7'-0"	WD	C STL		1
308	OFFICE	3'-0" X 7'-0"	WD	C STL		1
309	TOILET	3'-0" X 7'-0"	WD	C STL		1
310	TOILET	3'-0" X 7'-0"	WD	C STL		4
311	TOILET	3'-0" X 7'-0"	WD	C STL		4
312	TOILET	3'-0" X 7'-0"	WD	C STL		4
313	UTILITY	3'-0" X 7'-0"	WD	C STL		1
314	BOYS	3'-0" X 7'-0"	WD	C STL		1
315	GIRLS	3'-0" X 7'-0"	WD	C STL		6
316	CORRIDOR	3'-0" X 7'-0"	WD	C STL		6
317	VESTIBULE	3'-0" X 7'-0"	WD	C STL		9
400	CHILDREN'S WORSHIP	3'-0" X 7'-0"	WD	C STL		11
401	1ST & 2ND GRADE WORSHIP	3'-0" X 7'-0"	WD	C STL		1
402	2ND GRADE	3'-0" X 7'-0"	WD	C STL		1
403	1ST GRADE	3'-0" X 7'-0"	WD	C STL		1
404	2ND GRADE	3'-0" X 7'-0"	WD	C STL		1
405	1ST GRADE	3'-0" X 7'-0"	WD	C STL		1
406	3RD GRADE	3'-0" X 7'-0"	WD	C STL		1
407	4TH GRADE	3'-0" X 7'-0"	WD	C STL		1
408	3RD GRADE	3'-0" X 7'-0"	WD	C STL		1
409	4TH GRADE	3'-0" X 7'-0"	WD	C STL		1
410	STORAGE	3'-0" X 7'-0"	WD	C STL		1
411	CORRIDOR	3'-0" X 7'-0"	WD	C STL		3
412	CORRIDOR	3'-0" X 7'-0"	WD	C STL		9
413	VESTIBULE	3'-0" X 7'-0"	STL	A HM		11

**GENERAL NOTES**

- ALL DOORS TO BE 1 3/4" U.N.O..
- EXIT DEVICES SHALL COME WITH LOCKING LOCKSET ON OPPOSING SIDE OF DOOR
- DOOR SURFACES WITHIN 10" OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR.

**DOOR/FRAME MATERIAL**

PLAM PLASTIC LAMINATE CLAD  
MFL METAL  
HM HOLLOW/PRESSED METAL  
STL STEEL  
ALUM. ALUMINUM STOREFRONT

\* RELOCATE EXIST. EXTERIOR DOORS

**P5 ROOM FINISH SCHEDULE**

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
204	PRESCHOOL WORSHIP	CPT	VB	P	ACT	
220	GOLF CART	-	-	-	-	
301	2-3 YEARS	CPT	VB	P	ACT	
302	3 YEARS	CPT	VB	P	ACT	
303	5 YEARS	CPT	VB	P	ACT	
304	4 YEARS	CPT	VB	P	ACT	
305	5 YEARS	CPT	VB	P	ACT	
306	4 YEARS	CPT	VB	P	ACT	
307	OFFICE	CPT	VB	P	ACT	
308	OFFICE	CPT	VB	P	ACT	
309	TOILET	LVP	VB	P	ACT	
310	TOILET	LVP	VB	P	ACT	
311	TOILET	LVP	VB	P	ACT	
312	TOILET	LVP	VB	P	ACT	
313	UTILITY	LVP	VB	P	ACT	
314	BOYS	PT	PT	PT/P	ACT	
315	GIRLS	PT	PT	PT/P	ACT	
316	CORRIDOR	LVP	VB	P	ACT	
317	VESTIBULE	LVP	VB	P	ACT	
400	CHILDREN'S WORSHIP	CPT	VB	P	ACT	
401	1ST & 2ND GRADE WORSHIP	CPT	VB	P	ACT	
402	2ND GRADE	CPT	VB	P	ACT	
403	1ST GRADE	CPT	VB	P	ACT	
404	2ND GRADE	CPT	VB	P	ACT	
405	1ST GRADE	CPT	VB	P	ACT	
406	3RD GRADE	CPT	VB	P	ACT	
407	4TH GRADE	CPT	VB	P	ACT	
408	3RD GRADE	CPT	VB	P	ACT	
409	4TH GRADE	CPT	VB	P	ACT	
410	STORAGE	LVP	VB	P	ACT	
411	CORRIDOR	LVP	VB	P	ACT	
412	CORRIDOR	LVP	VB	P	ACT	
413	VESTIBULE	LVP	VB	P	ACT	

**FLOORING:**  
CPT CARPET TILE  
LVP LUXURY VINYL PLANK  
ETR EXISTING TO REMAIN  
PT PORCELAIN TILE  
SC SEALED CONCRETE

**WALLS:**  
P PAINT AND TEXTURE ON GYP. BD.  
CT PORCELAIN TILE  
EPX EPOXY PAINT COATING  
PT PORCELAIN TILE  
SC SEALED CONCRETE

**BASE:**  
VB VINYL BASE

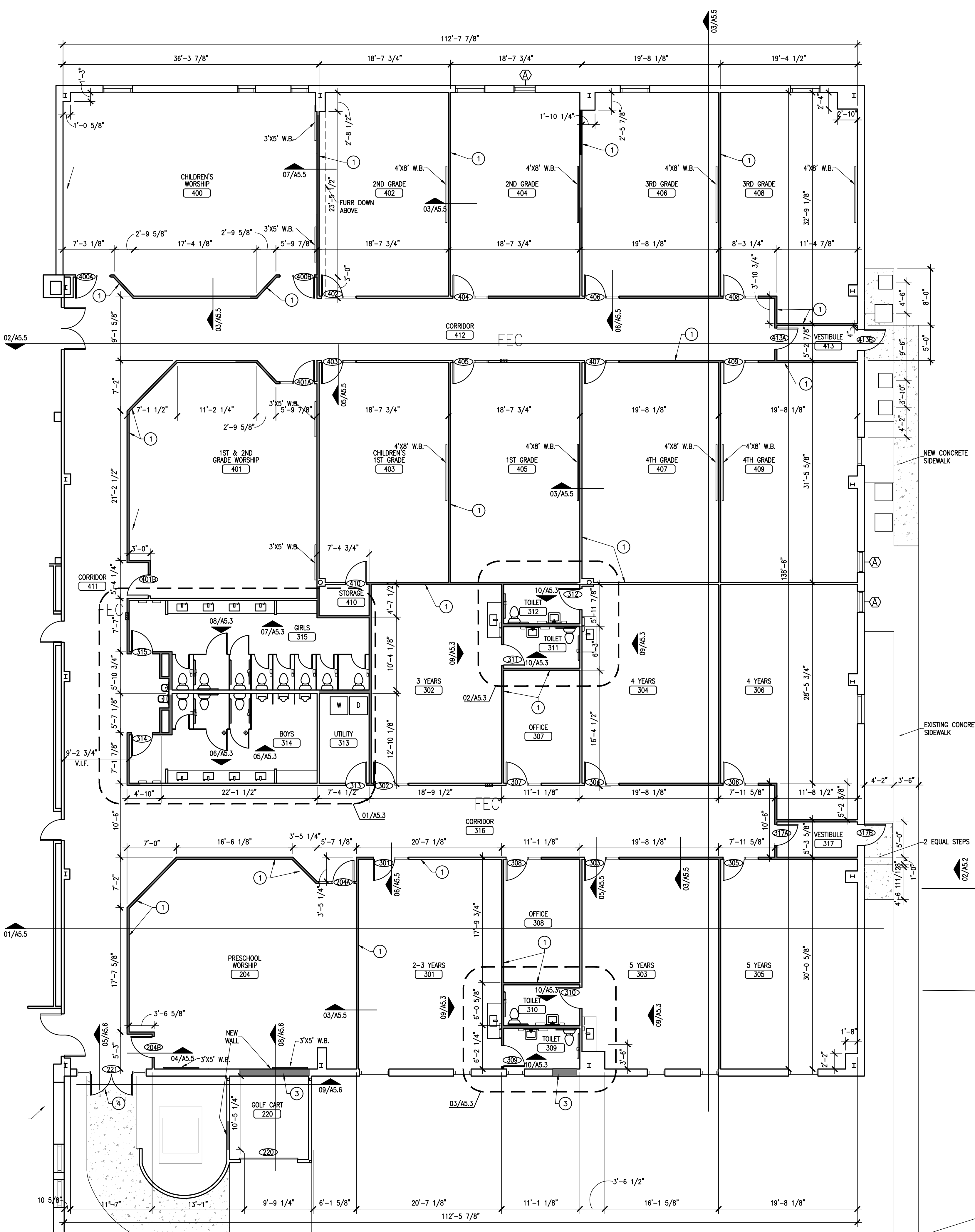
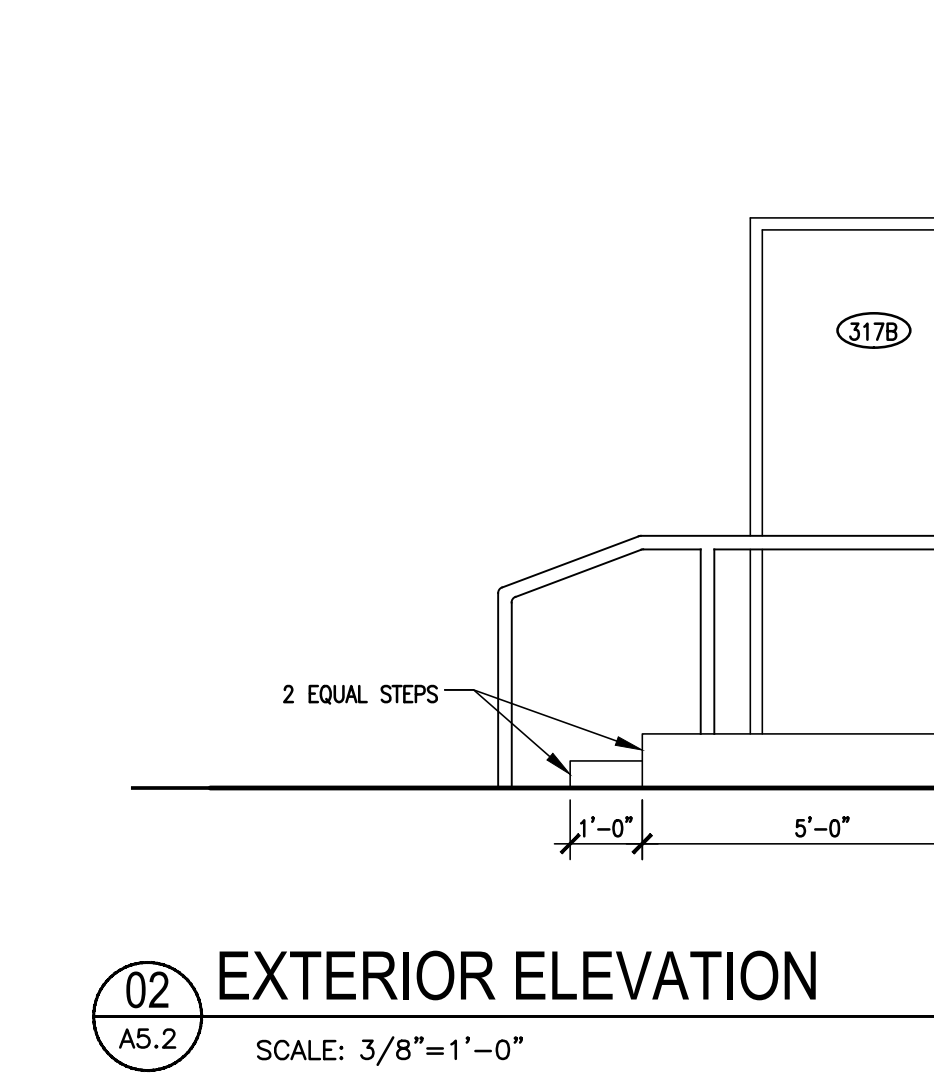
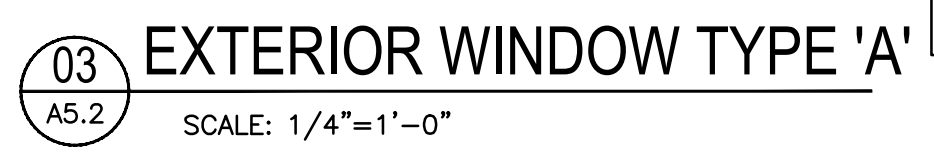
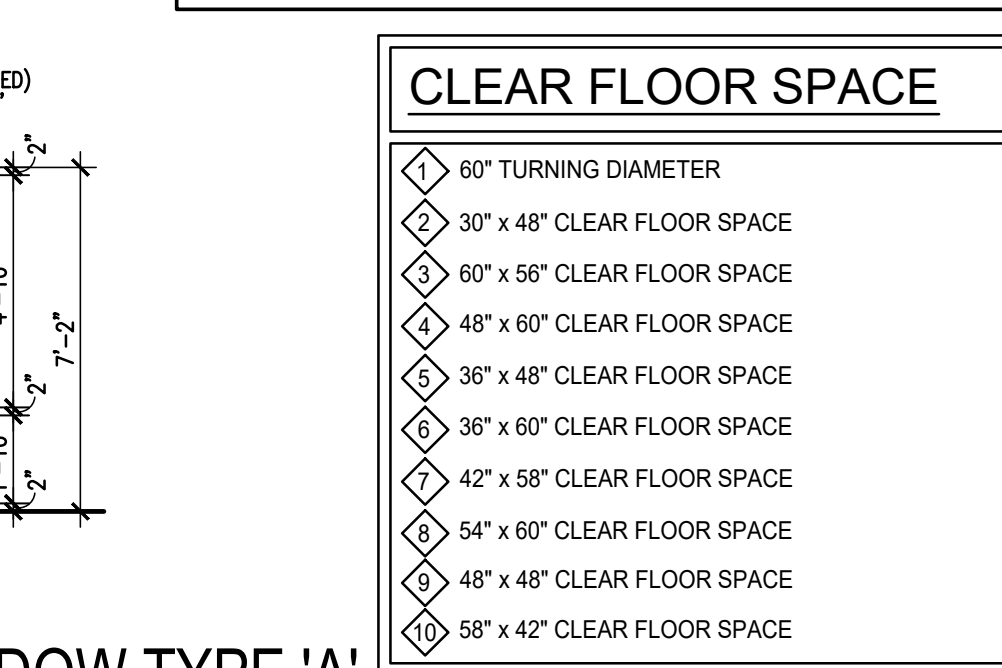
**CEILING:**  
P PAINT AND TEXTURE ON GYP. BD.  
ACT LAY-IN ACOUSTICAL TILE

**GENERAL NOTES:**  
1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.  
2. BASE IN BATHROOMS SHALL BE 4" TALL.

**WINDOW SCHEDULE**

WINDOW	FRAME	NOTES
TYPE SIZE	HEAD HEIGHT	MATL
A 3'-4" X 7'-2"	7'-2"	HM

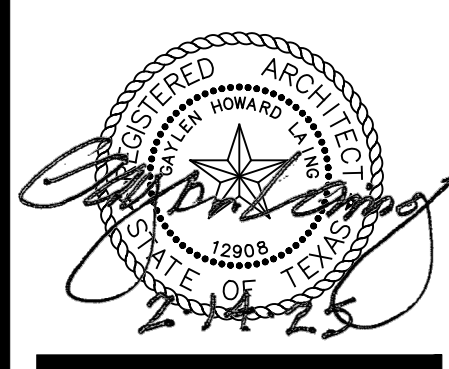
- FLOOR PLAN NOTES BY NUMBER**
- NEW METAL FRAMED WALL. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
  - NEW ALUMINUM FRAME AND GLASS PARTITION WALLS
  - NEW EXTERIOR INFILL WALL TO MATCH EXISTING..
  - RELOCATE EXISTING STOREFRONT DOOR & WINDOW UNITS.
  - EXTEND NEW & EXISTING WALLS FULL HEIGHT TO DECK.
  - REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW WALL CONFIGURATION.



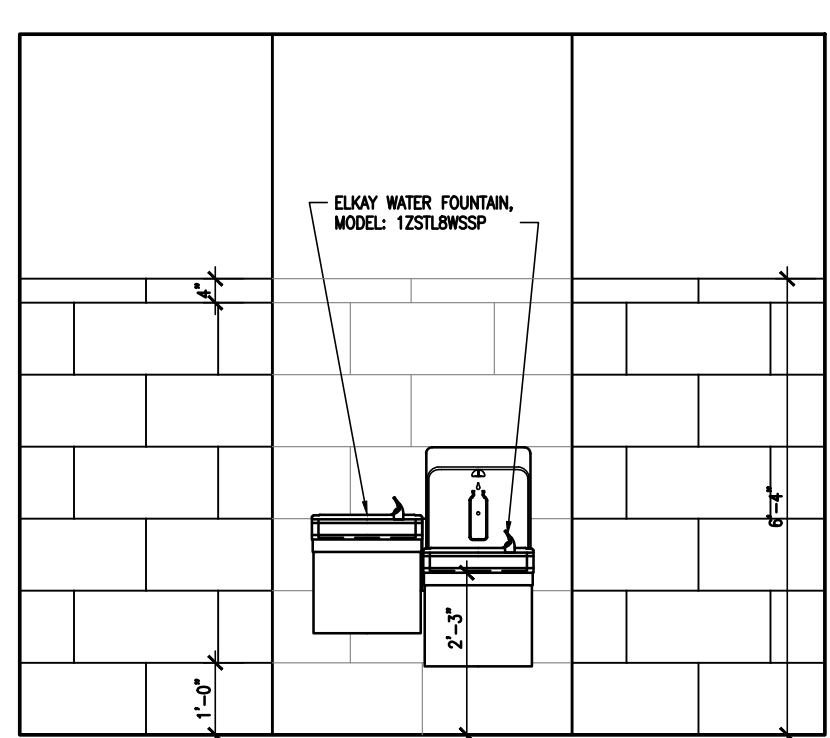
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SCALE: 1/8"=1'-0"



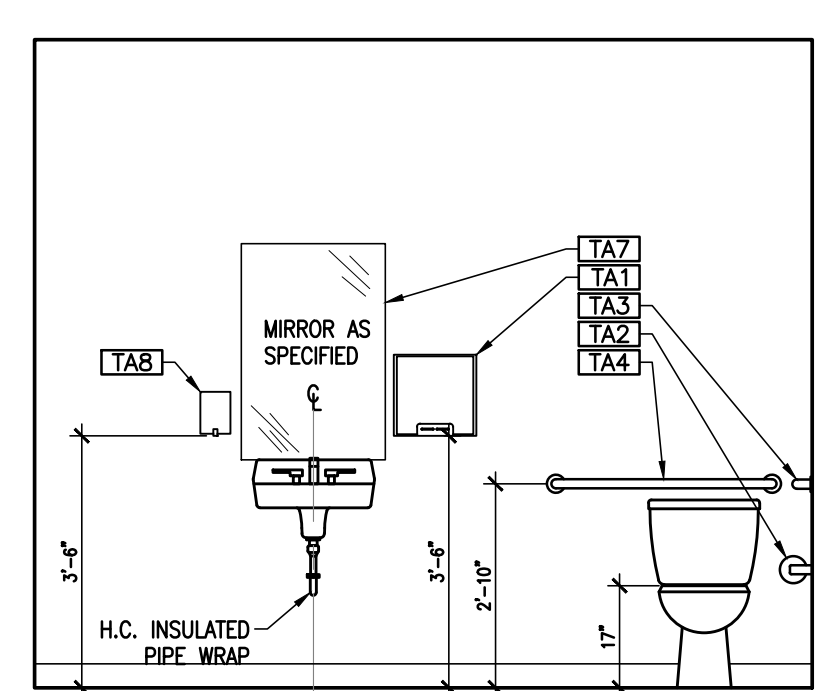
PHASING/  
KEY PLAN



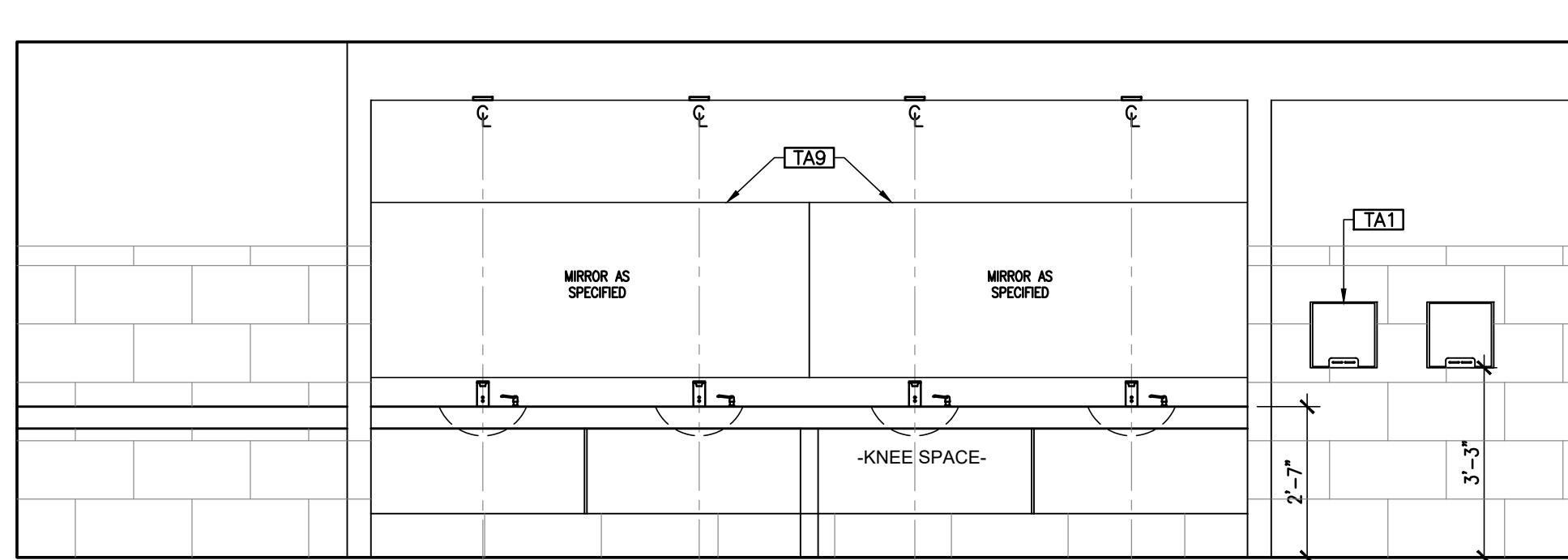
DATE: 08/14/24  
ISSUE:  
REVISION:  
SHEET TITLE:  
PHASE 5  
FLOOR PLANS



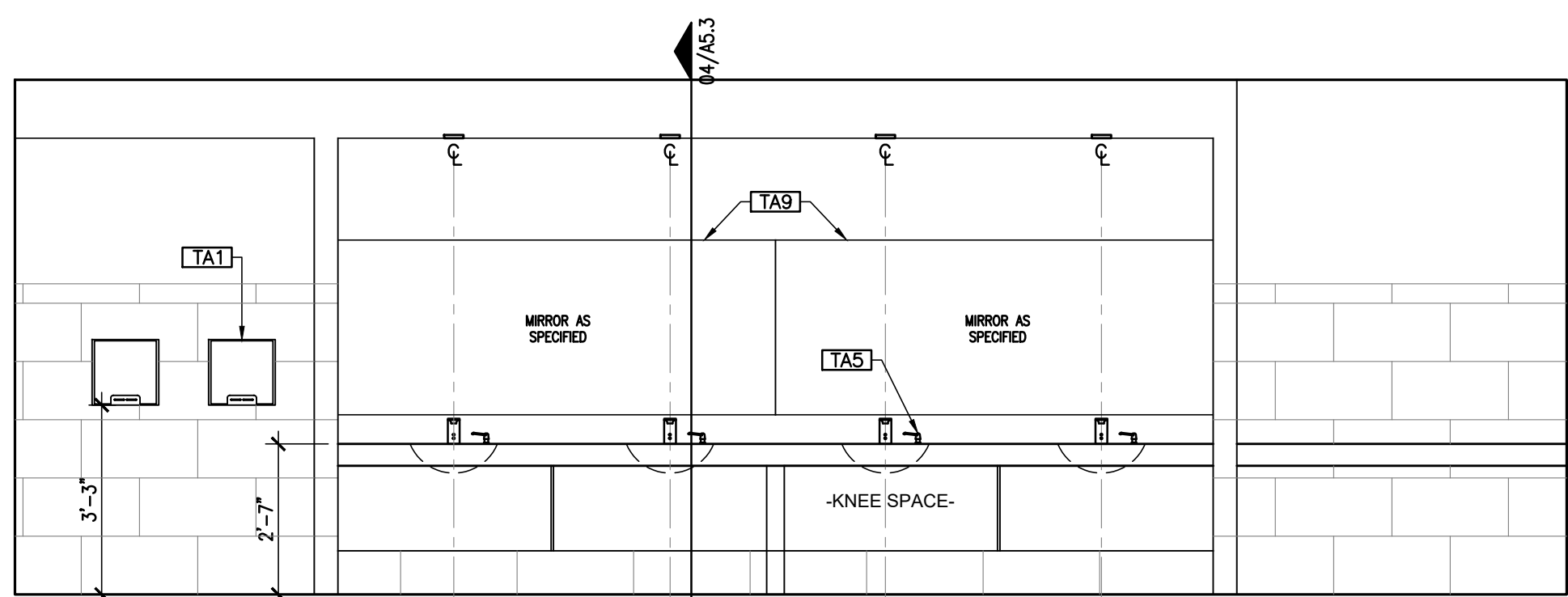
11 INTERIOR ELEVATION  
A5.3 SCALE: 3/8"=1'-0"



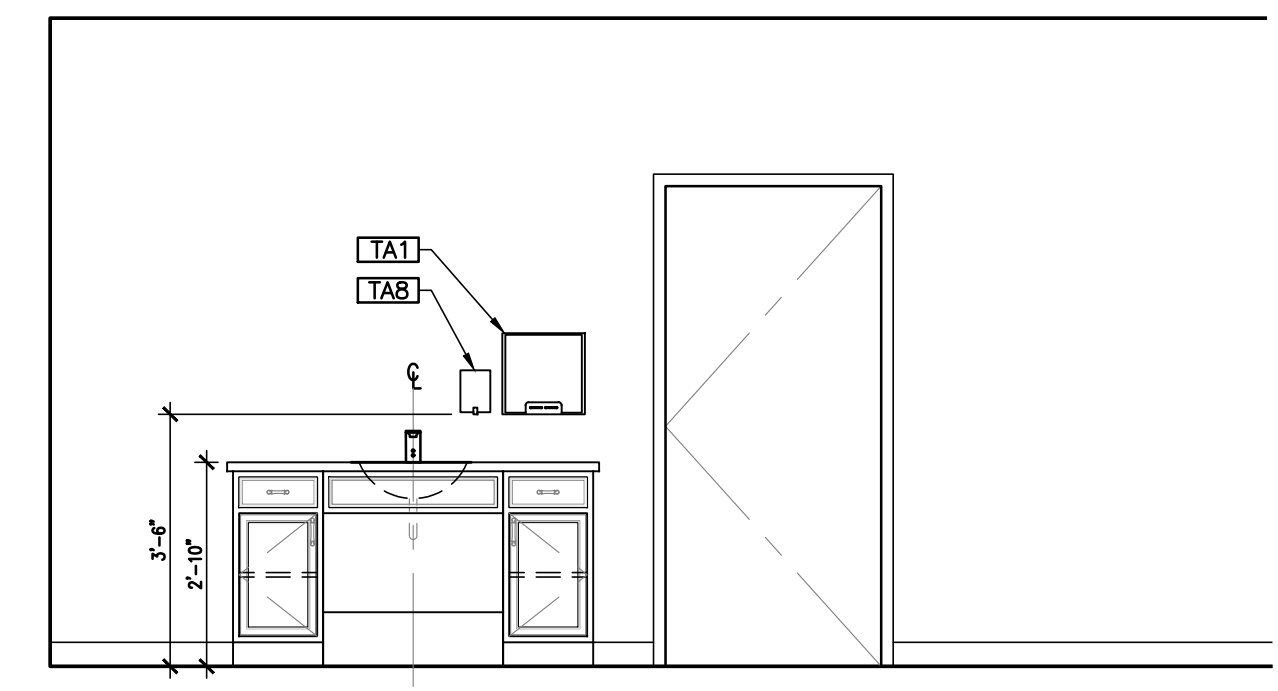
10 INTERIOR ELEVATION  
A5.3 SCALE: 3/8"=1'-0"



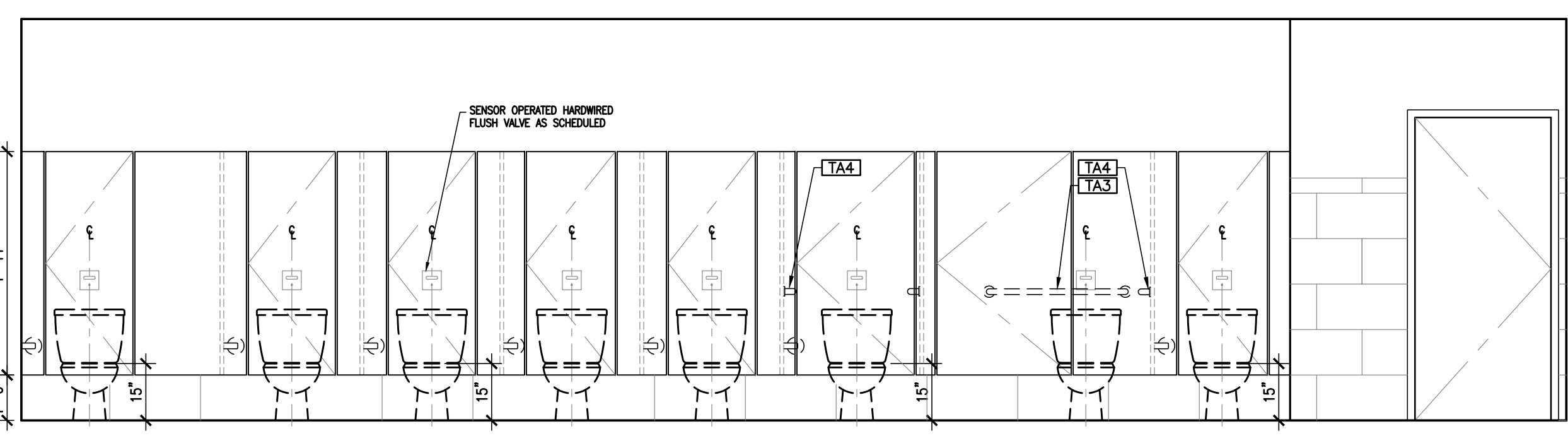
08 INTERIOR ELEVATION - WOMENS  
A5.3 SCALE: 3/8"=1'-0"



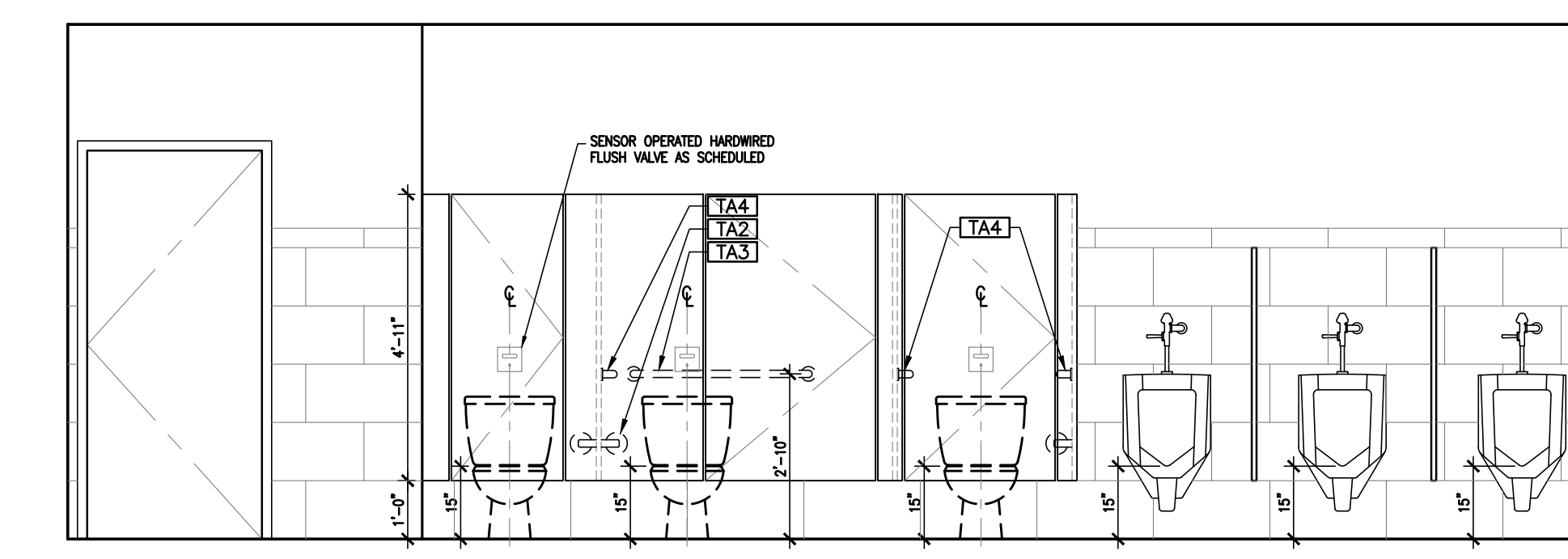
06 INTERIOR ELEVATION - MENS  
A5.3 SCALE: 3/8"=1'-0"



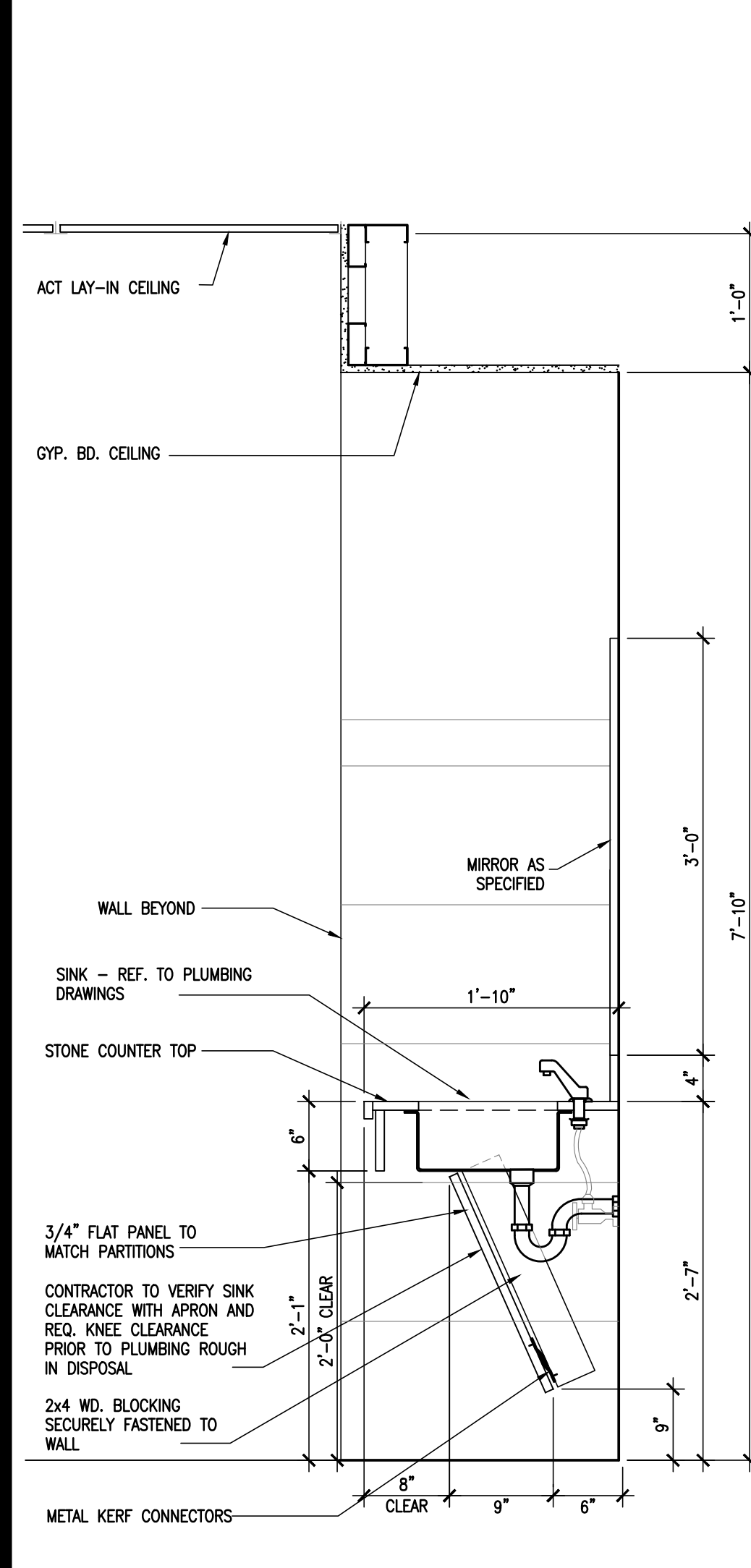
09 INTERIOR ELEVATION  
A5.3 SCALE: 3/8"=1'-0"



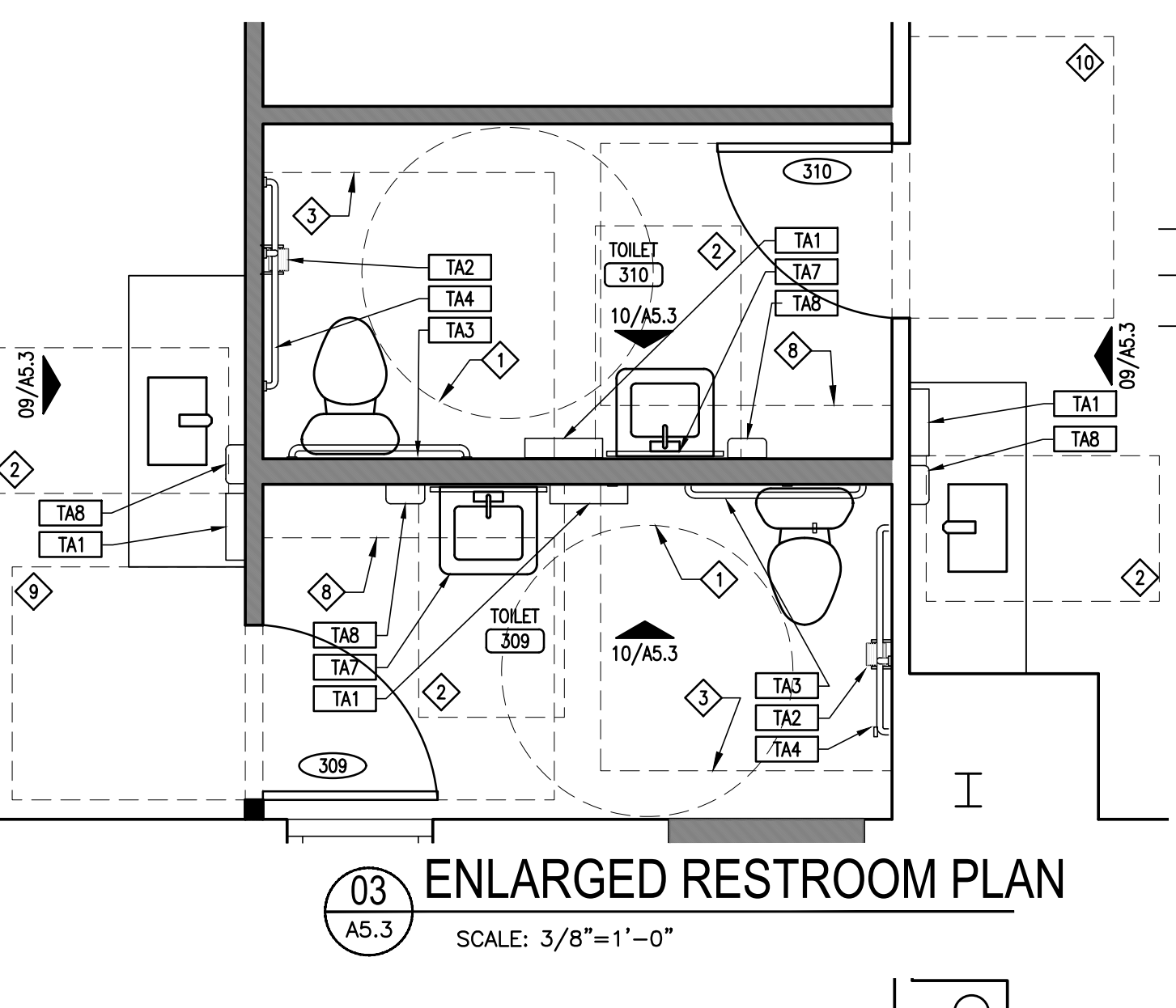
07 INTERIOR ELEVATION - WOMENS  
A5.3 SCALE: 3/8"=1'-0"



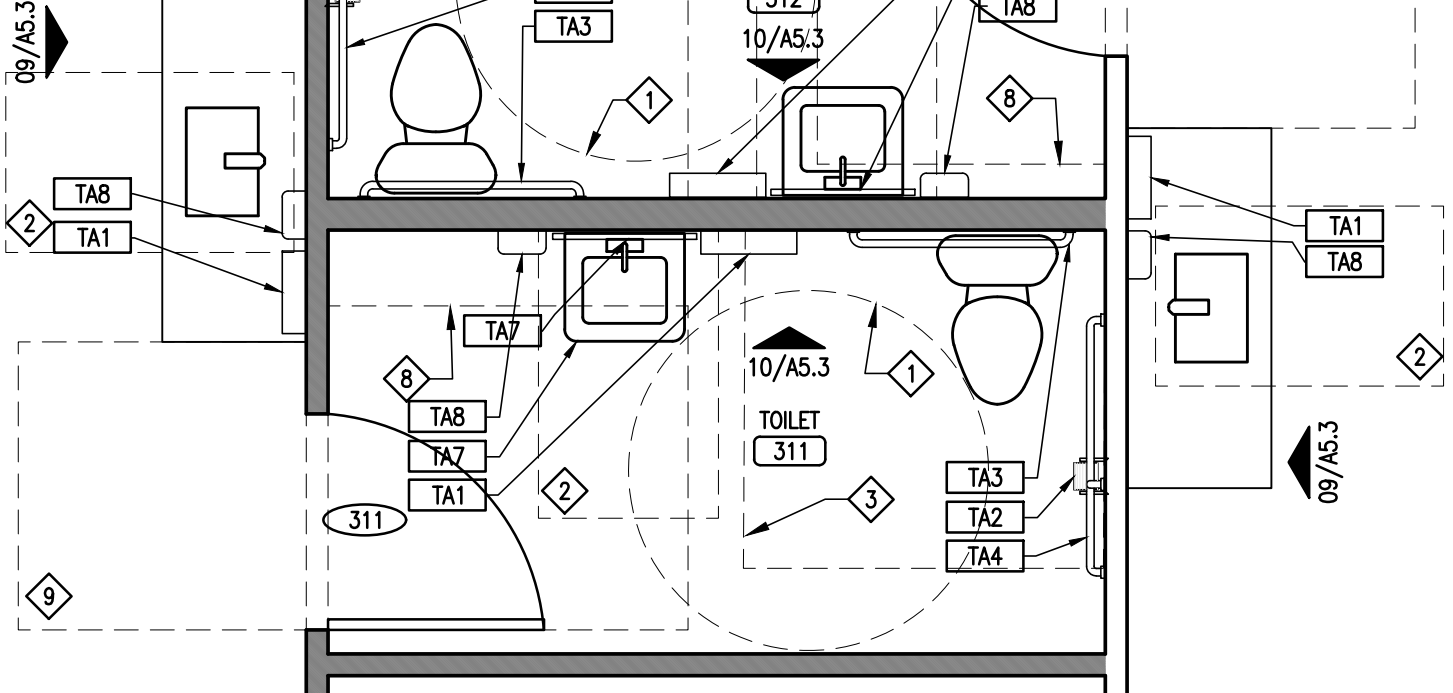
05 INTERIOR ELEVATION - MENS  
A5.3 SCALE: 3/8"=1'-0"



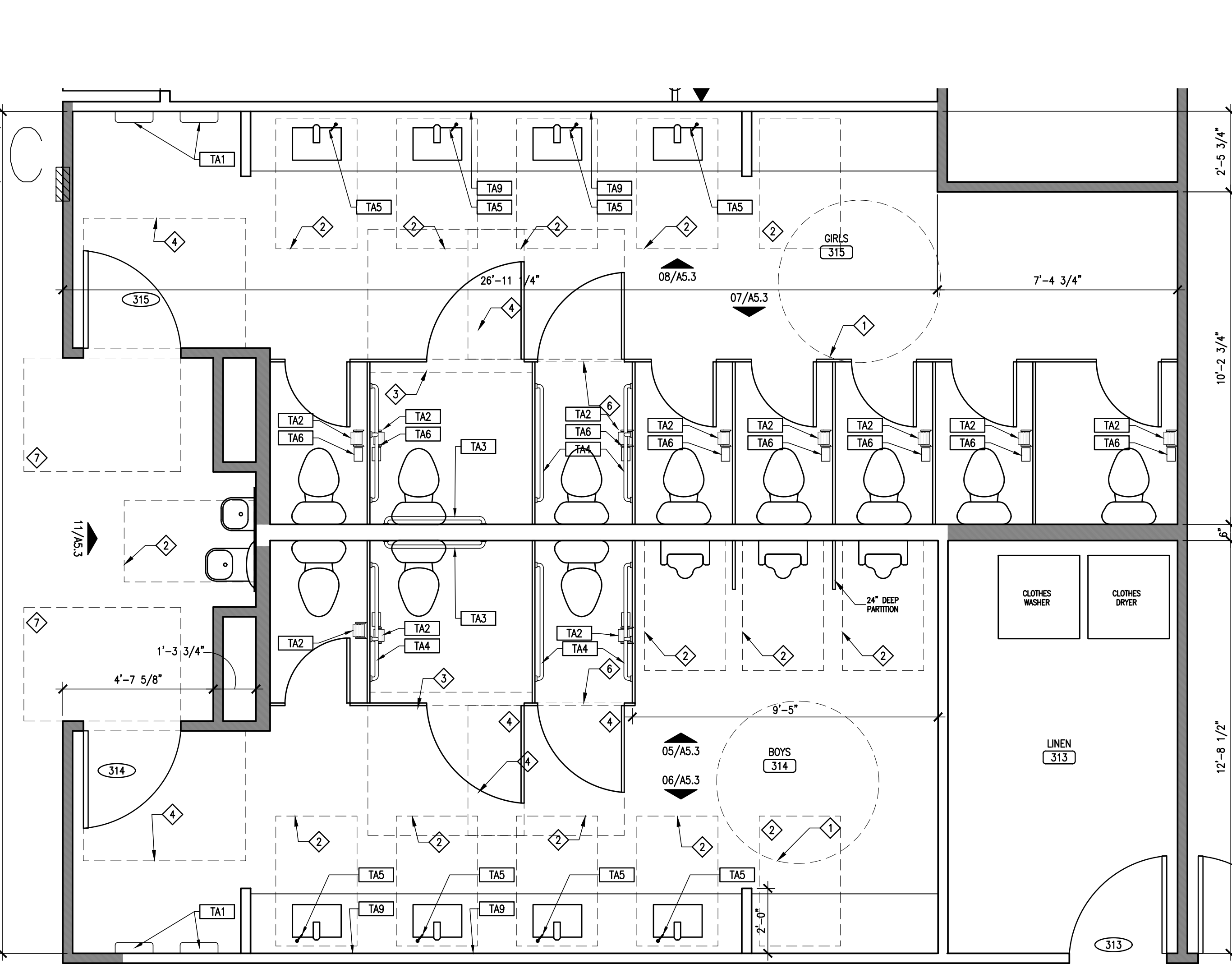
04 LAVATORY DETAIL  
A5.3 SCALE: 1"=1'-0"



03 ENLARGED RESTROOM PLAN  
A5.3 SCALE: 3/8"=1'-0"



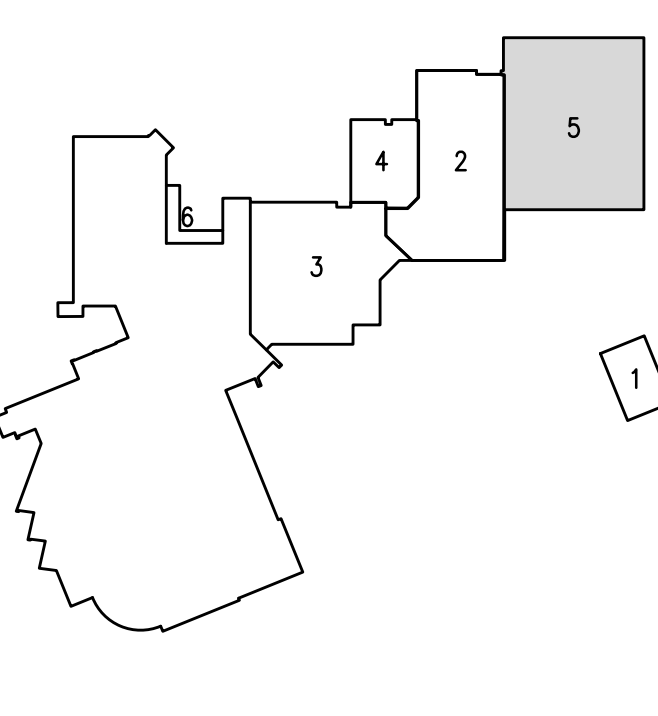
02 ENLARGED RESTROOM PLAN  
A5.3 SCALE: 3/8"=1'-0"



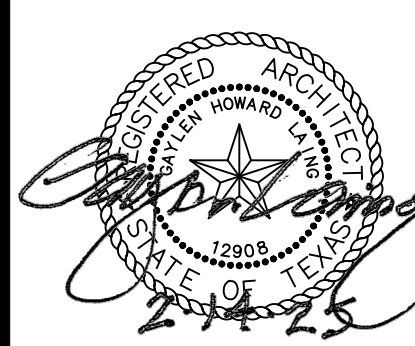
01 ENLARGED RESTROOM PLAN  
A5.3 SCALE: 3/8"=1'-0"

TOILET ACCESSORIES	
TAT1	ENMOTION PAPER TOWEL DISPENSER - WALL MOUNTED
TAT2	TOILET TISSUE DISPENSER - DOUBLE ROLL
TAA3	36" GRAB BAR
TAA4	42" GRAB BAR
TAA5	AUTOMATIC SOAP DISPENSER - DECK MOUNTED
TAA6	SANITARY NAPKIN DISPOSAL UNIT
TAT7	24" X 36" WALL MOUNTED MIRROR
TAB8	SOAP DISPENSER - WALL MOUNTED
TAA9	UNFRAMED MIRROR
SPECIFIC ACCESSORIES LISTED IN SECTION 10 28 13	

CLEAR FLOOR SPACE	
1	60" TURNING DIAMETER
2	30" x 48" CLEAR FLOOR SPACE
3	60" x 56" CLEAR FLOOR SPACE
4	48" x 60" CLEAR FLOOR SPACE
5	36" x 48" CLEAR FLOOR SPACE
6	36" x 60" CLEAR FLOOR SPACE
7	42" x 58" CLEAR FLOOR SPACE
8	54" x 60" CLEAR FLOOR SPACE
9	48" x 48" CLEAR FLOOR SPACE
10	58" x 42" CLEAR FLOOR SPACE



KEY PLAN



**GENERAL RCP NOTES**

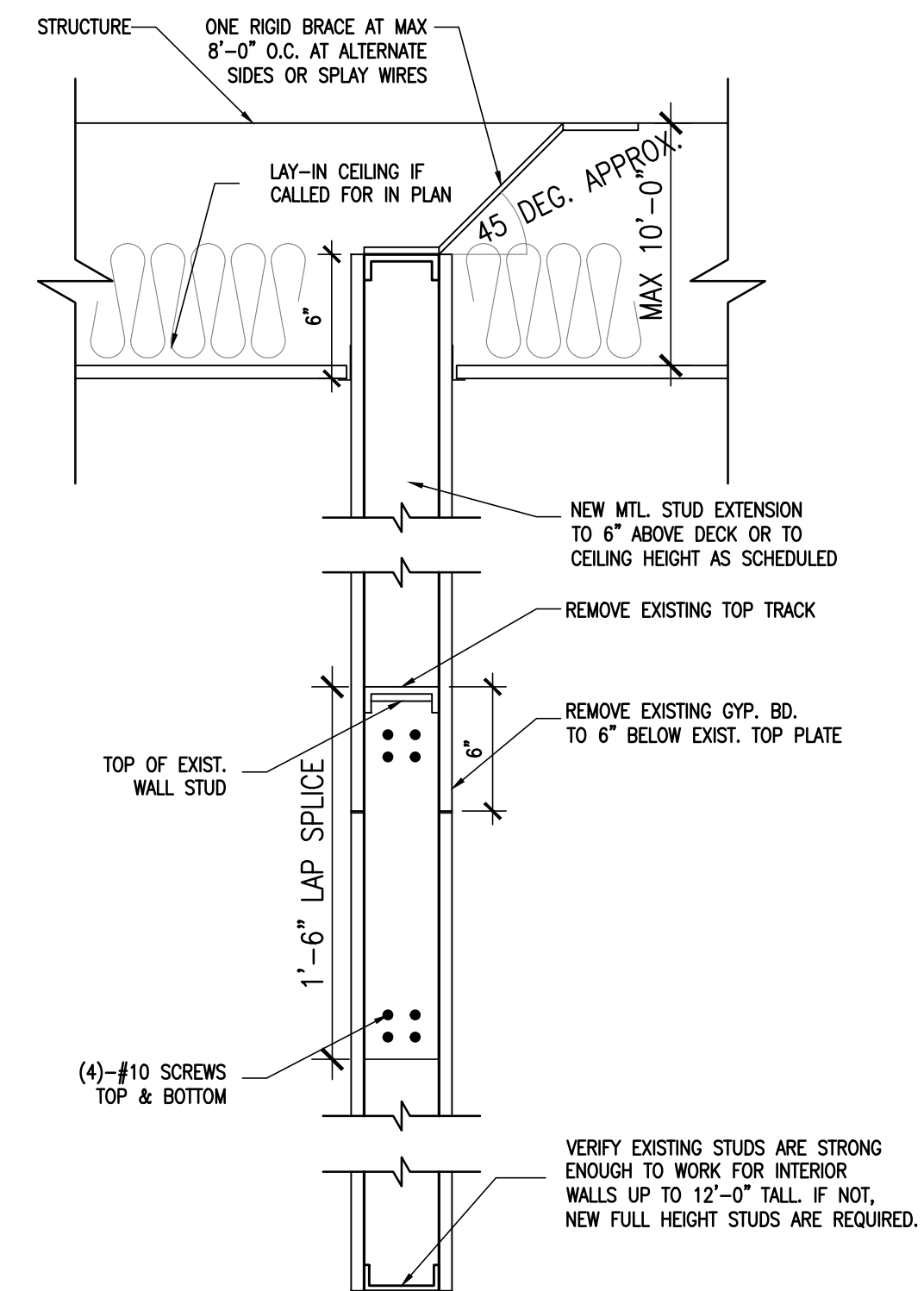
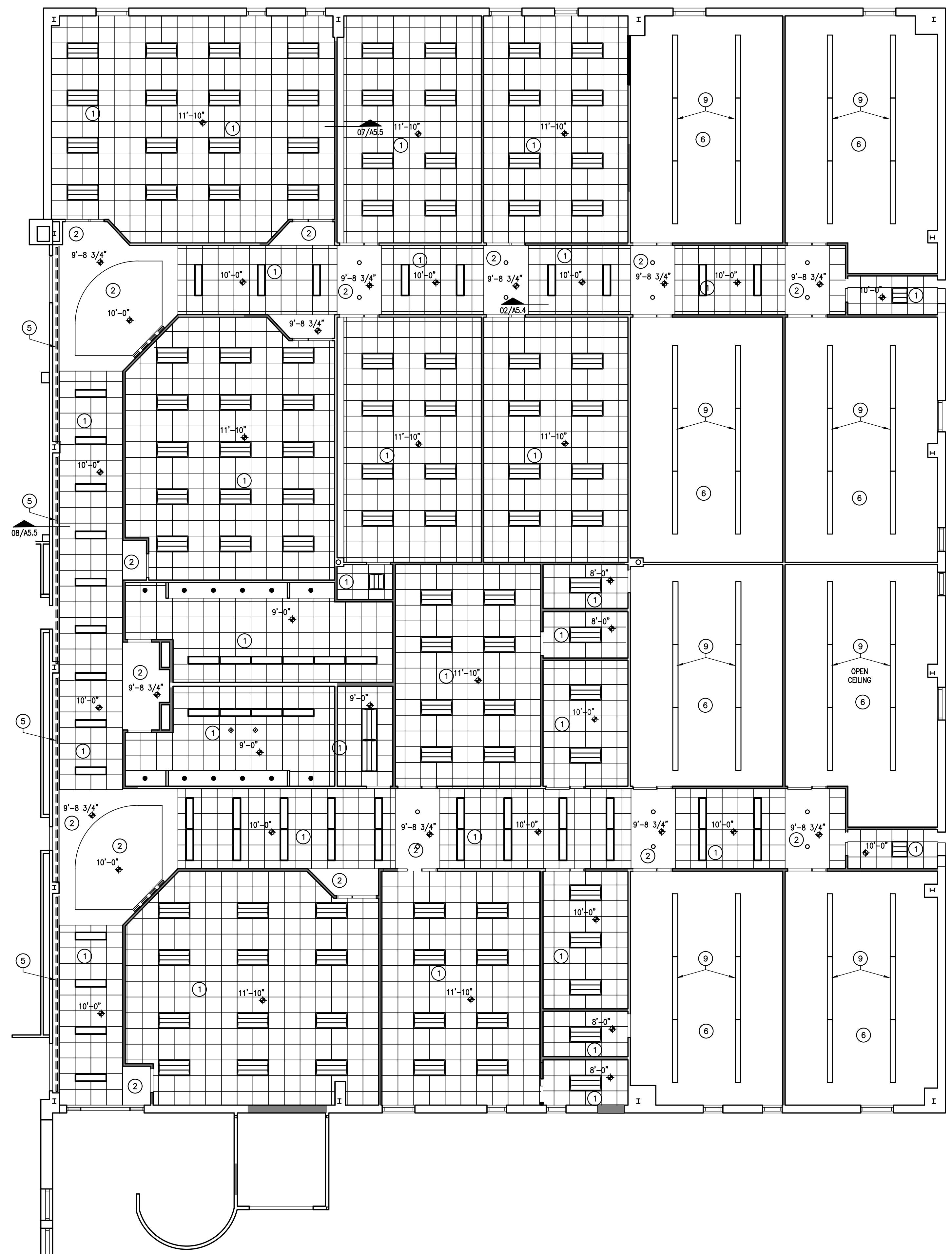
- A. ALL 1 HOUR PARTITION WALLS SHALL TERMINATE TO THE BOTTOM OF THE 1-HOUR ROOF/CEILING ASSEMBLY.
- B. ALL PENETRATIONS THROUGH RATED WALLS SHALL BE FIRE-STOPPED AS REQUIRED TO MAINTAIN WALL RATING.
- C. COORDINATE LIGHT FIXTURE LOCATIONS WITH DOORS, MECHANICAL EQUIPMENT AND FIRE SPRINKLERS. NOTIFY THE ARCHITECT IF THERE IS A DISCREPANCY.
- D. RELOCATE EXISTING HVAC AIR DEVICES AS REQUIRED. EXTEND OR OTHERWISE MODIFY DUCTWORK TO MAINTAIN PROPER PERFORMANCE OF THE SYSTEM.
- E. RELOCATE FIRE SUPPRESSION SPRINKLER HEADS AS REQUIRED. EXTEND OR MODIFY PIPING AS REQUIRED TO RESULT IN A CODE COMPLIANT SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE ENGINEERED DESIGN AND SUBMIT TO THE CITY FOR APPROVAL.

**RCP LEGEND**

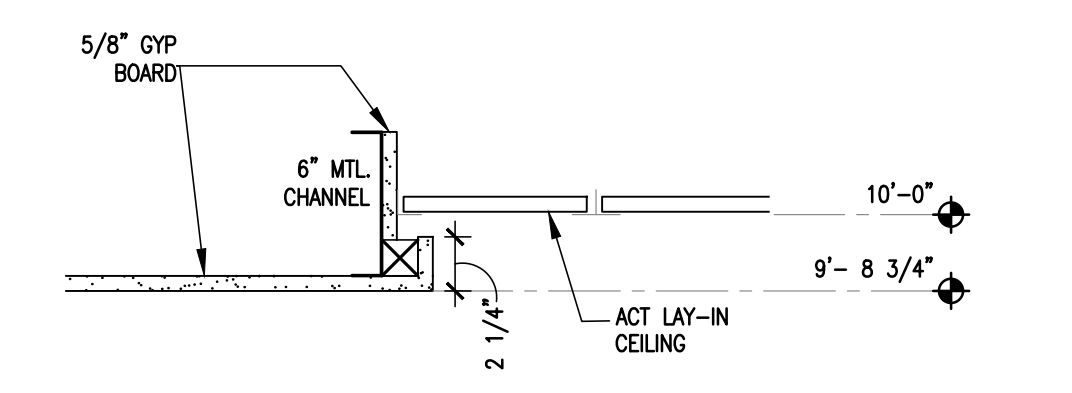
- 2x4 LAY-IN TROFFER LED LIGHT FIXTURE
- 2x2 LAY-IN TROFFER LED LIGHT FIXTURE
- SURFACE MOUNT LED LIGHT FIXTURE
- WALL PACK
- SCONCE WALL MOUNT FIXTURE
- PENDANT WALL MOUNT FIXTURE
- LED COVE STRIP LIGHT
- WALL MOUNTED LIGHT FIXTURE
- PENDANT LIGHT/ CHANDELIER
- RECESSED DOWNLIGHT FIXTURE
- EXIT LIGHT
- SUSPENDED CEILING
- AREA NOT AFFECTED DURING THIS PHASE

**RCP NOTES BY NUMBER (#)**

- 1. 2x2 A.C.T. SUSPENDED CEILING W/ 6" R-19 FIBERGLASS INSULATION OVER.
- 2. NEW 1-HR FIRE RATED GYPSUM BOARD CEILING, GA FILE NO. RC-2601. RE: RCP AND DETAILS.
- 3. EXISTING CEILING AND LIGHTING TO REMAIN.
- 4. NEW STANDING SEAM METAL ROOF ON EXISTING METAL AWNING STRUCTURE.
- 5. LIGHT COVE WITH LED COVE STRIP LIGHT.
- 6. CEILING OPEN TO DECK.
- 7. PENDANT LIGHTING SUSPENDED FROM ROOF STRUCTURE.
- 8. DECORATIVE RECESSED WOOD RAFTERS/BEAMS.
- 9. SUSPENDED LINEAR LIGHT FIXTURE.
- 10. EXISTING LIGHTING FIXTURE TO REMAIN.

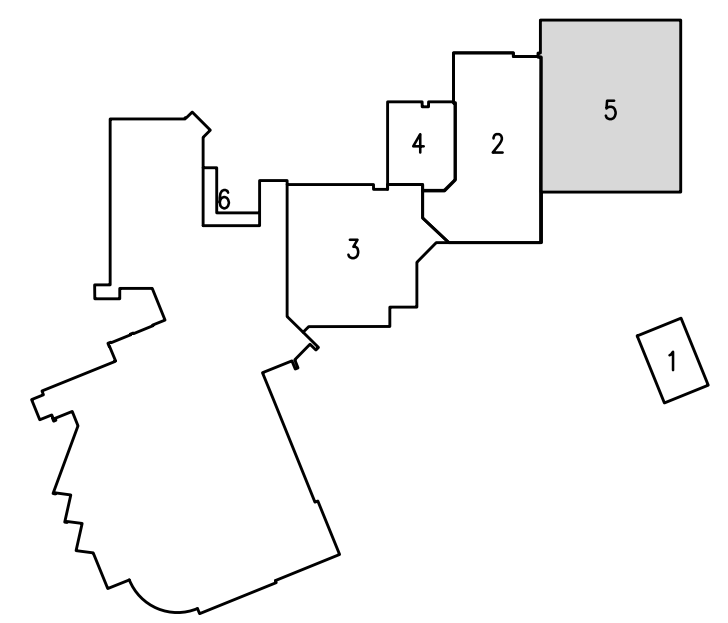


**03 WALL EXTENSION SECTION DETAIL**  
SCALE: 1-1/2"=1'-0"

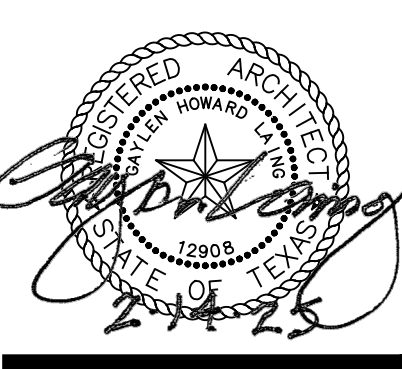


**02 SECTION DETAIL**  
SCALE: 1-1/2"=1'-0"

**01 PHASE 5 RCP**  
SCALE: 1/8"=1'-0"



**PHASING/ KEY PLAN**



DATE: 08/14/24

ISSUE:

REVISION:

SHEET TITLE:

PHASE 5  
BUILDING  
SECTIONS

**A5.5**

**PROSTUD FULL COMPOSITE  
LIMITING HEIGHTS** \*\*

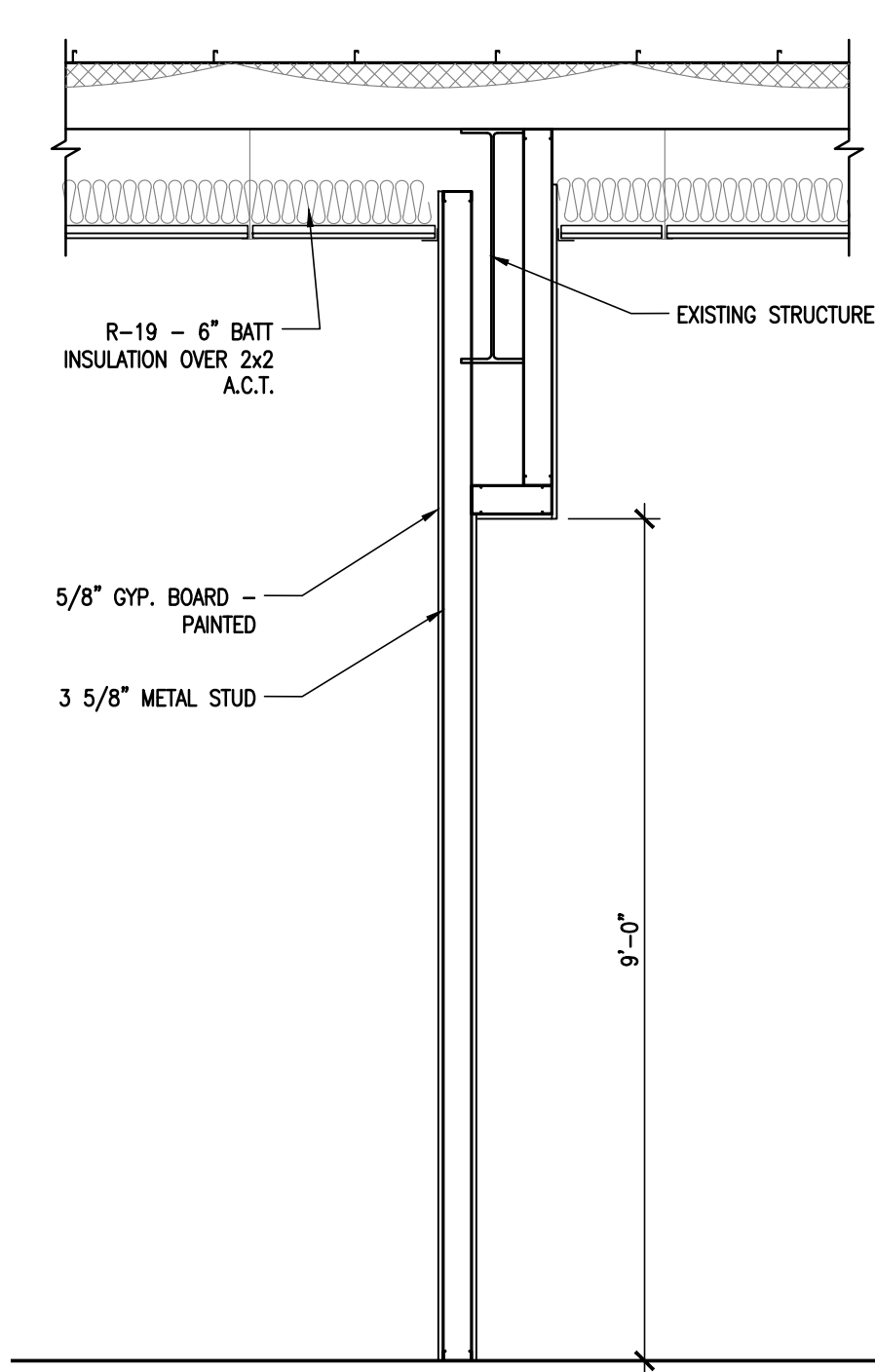
\*\*TAKEN FROM THE 2025 CLARK DIETRICH PRO STUD PRODUCT CATALOG FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON NON-LOAD BEARING WALL CONSTRUCTION.

5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	17'-1"
				16	15'-6"
				24	13'-6"
	PROSTUD 20 362PDS125-18	0.0190	70	12	18'-2"
				16	16'-10"
				24	15'-1"
PROSTUD 30 362PDS125-30	0.0312	33	12	20'-5"	
			16	18'-6"	
			24	16'-2"	
PROSTUD 33 362PDS125-33	0.0346	33	12	21'-2"	
			16	19'-2"	
			24	16'-9"	

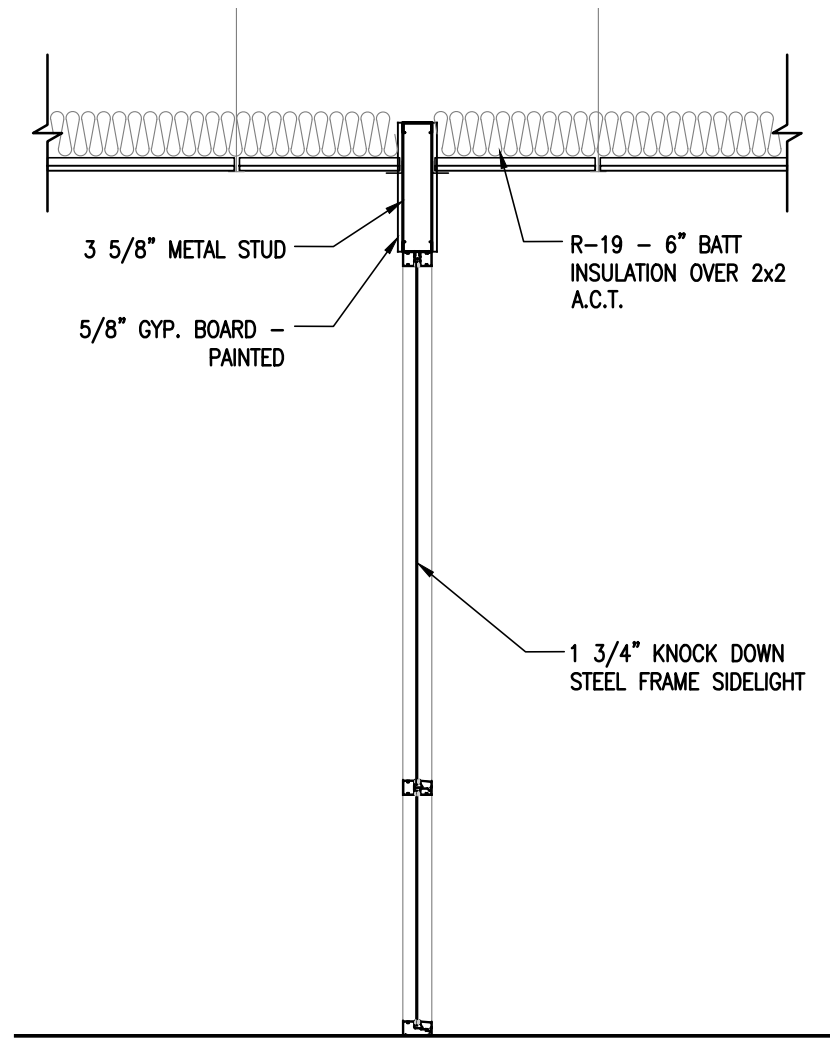
**PROSTUD NON-COMPOSITE  
LIMITING HEIGHTS** \*\*

\*\*TAKEN FROM THE 2025 CLARK DIETRICH PRO STUD PRODUCT CATALOG FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON NON-LOAD BEARING WALL CONSTRUCTION.

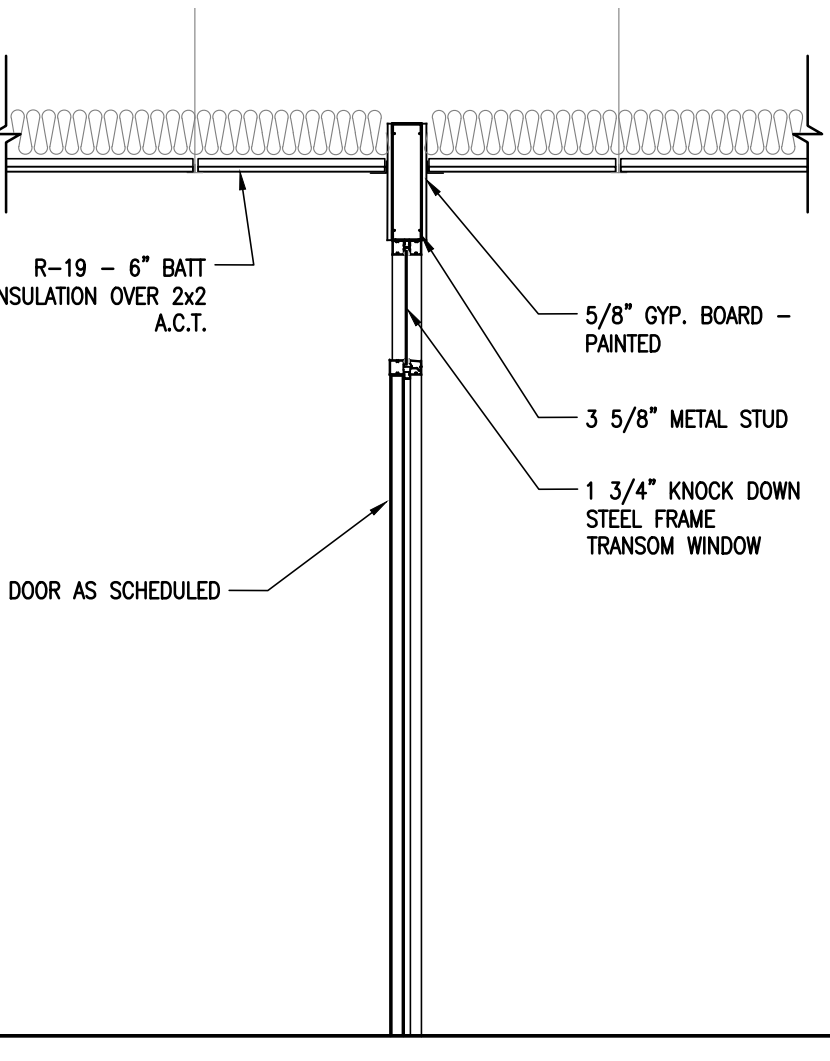
5/8" TYPE X GYPSUM					
WIDTH	STUD MEMBER	DESIGN THICKNESS (IN)	YIELD STRENGTH (KSL)	SPACING (IN)	LATORAL LOAD - 5 PSF
3-5/8"	PROSTUD 25 362PDS125-15	0.0158	50	12	12'-5"
				16	10'-9"
				24	8'-9"
	PROSTUD 20 362PDS125-18	0.0190	70	12	14'-6"
				16	13'-2"
				24	10'-9"
PROSTUD 30 362PDS125-30	0.0312	33	12	17'-4"	
			16	15'-9"	
			24	13'-9"	
PROSTUD 33 362PDS125-33	0.0346	33	12	17'-11"	
			16	16'-3"	
			24	14'-3"	



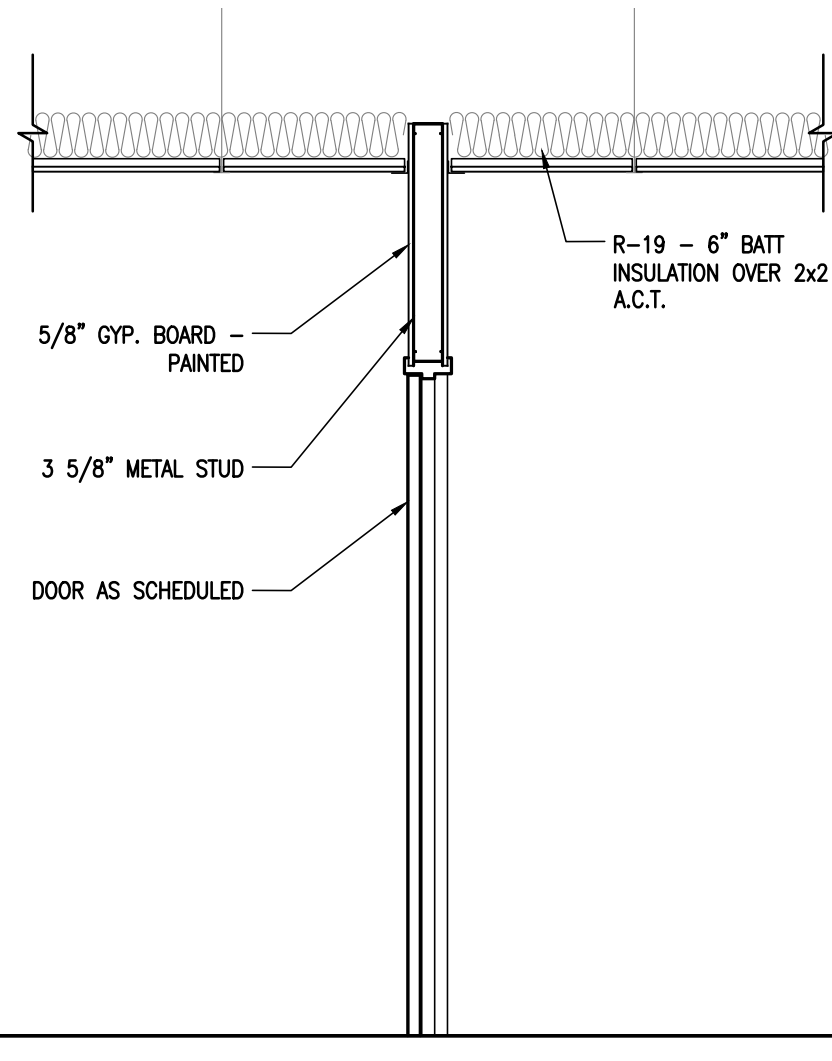
**07 WALL SECTION**  
A5.5 SCALE: 1/2"=1'-0"



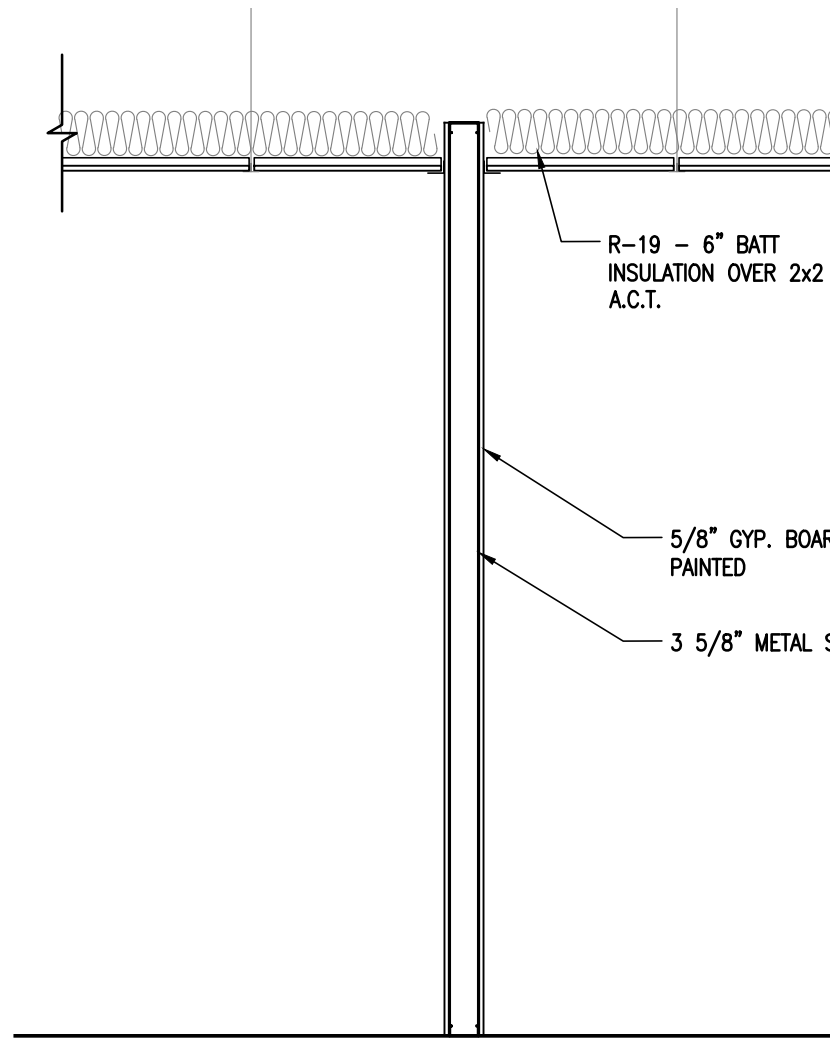
**06 WALL SECTION**  
A5.5 SCALE: 1/2"=1'-0"



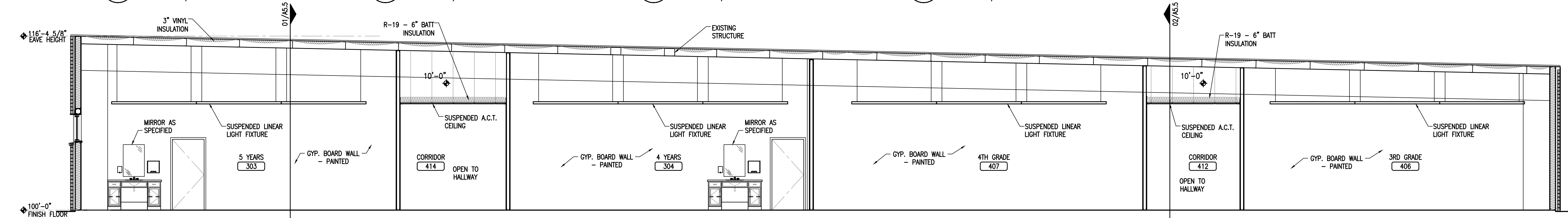
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A5.5 SCALE: 1/2"=1'-0"



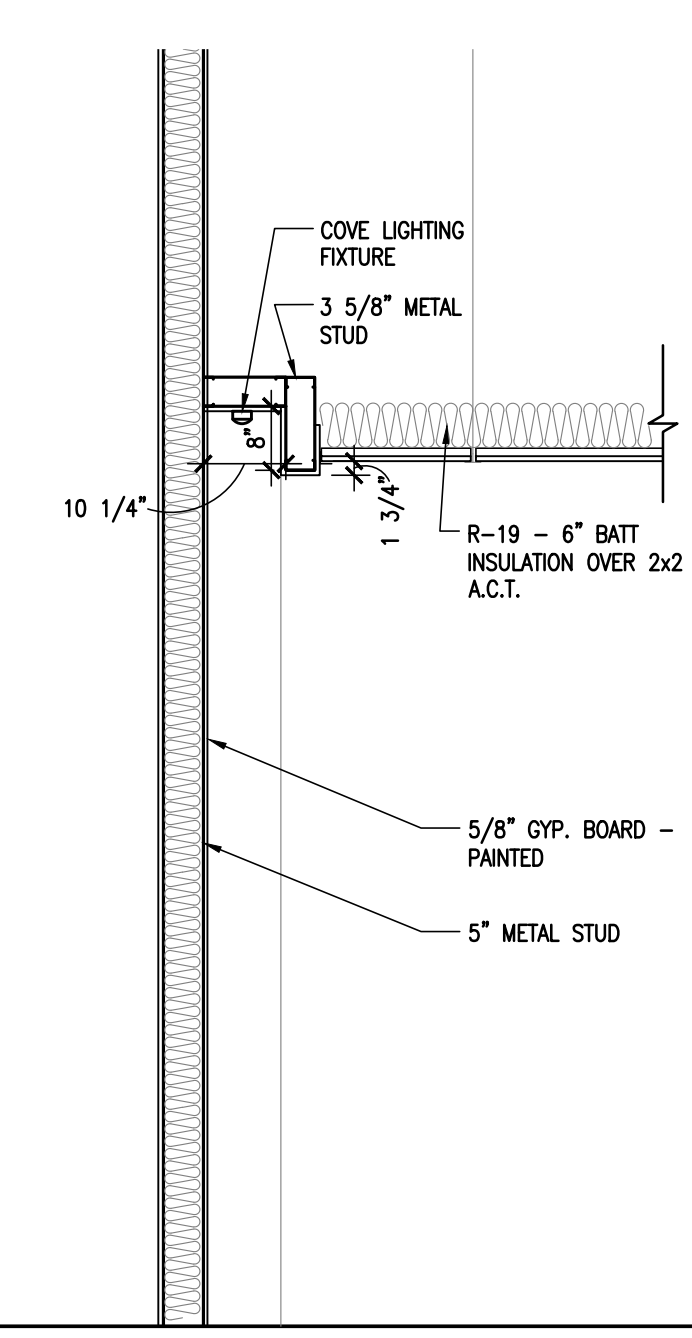
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A5.5 SCALE: 1/2"=1'-0"



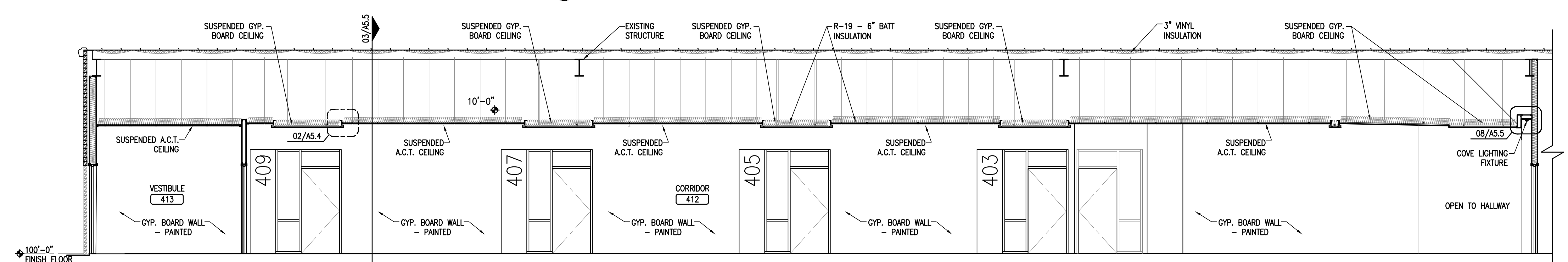
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A5.5 SCALE: 1/2"=1'-0"



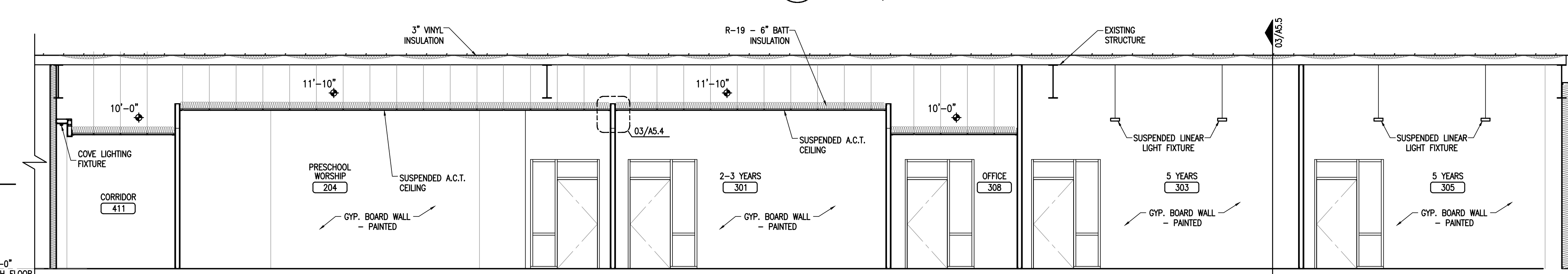
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A5.5 SCALE: 3/16"=1'-0"



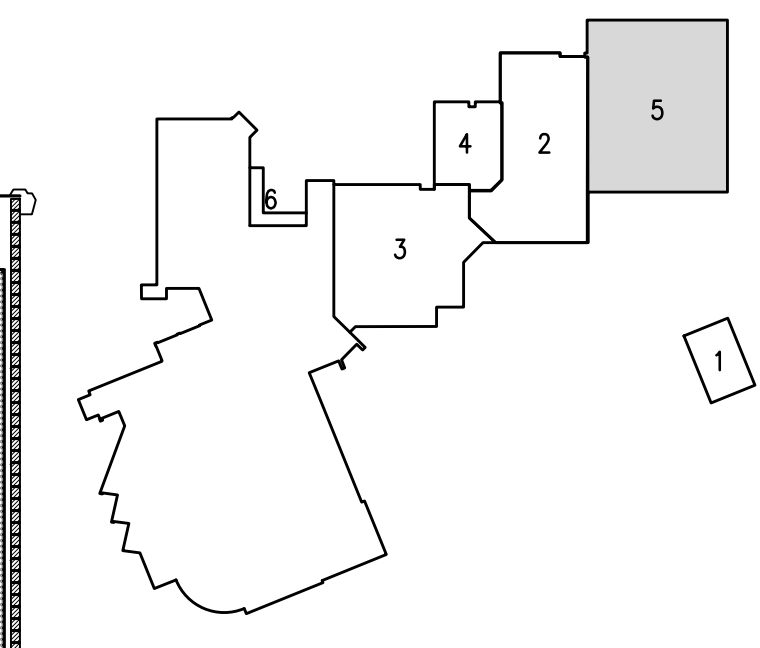
**08 WALL SECTION**  
A5.5 SCALE: 1/2"=1'-0"



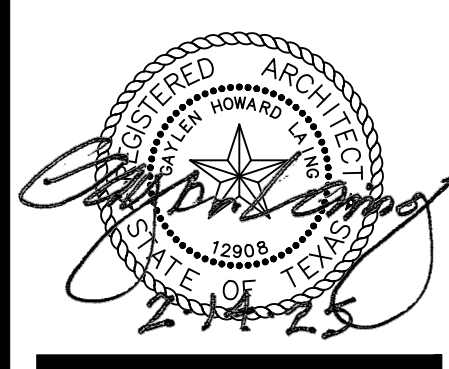
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A5.5 SCALE: 3/16"=1'-0"



**01 BUILDING SECTION**  
A5.5 SCALE: 3/16"=1'-0"



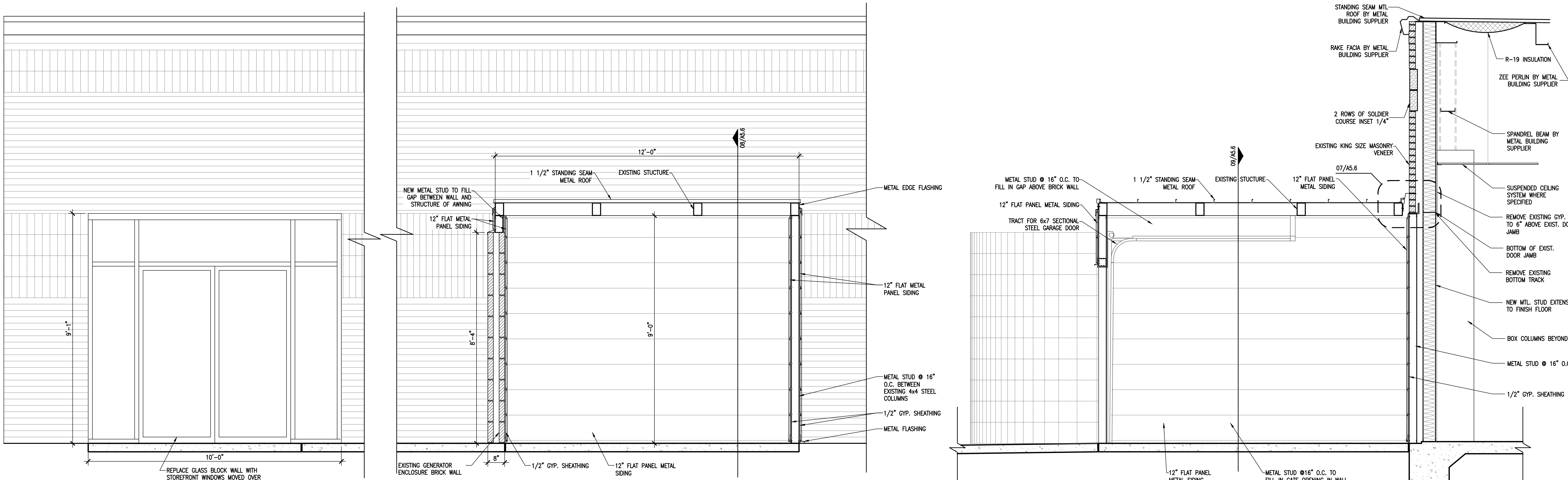
**PHASING/  
KEY PLAN**



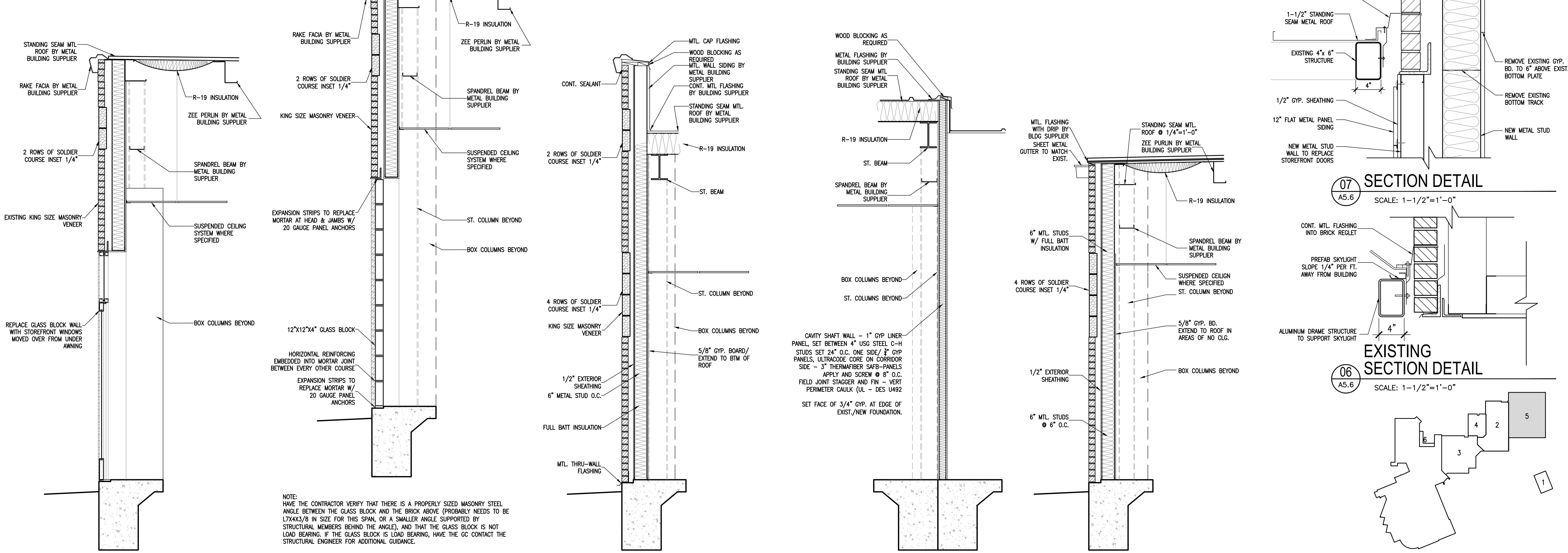
DATE: 08/14/24  
ISSUE:  
REVISION:  
SHEET TITLE:

PHASE 5  
BUILDING  
SECTIONS

**A5.6**



**08 GOLF CART WALL SECTION** SCALE: 1/2"=1'-0"  
**09 GOLF CART WALL SECTION** SCALE: 1/2"=1'-0"



**05 WALL SECTION** SCALE: 1/2"=1'-0"  
**04 EXISTING GLASS WALL SECTION** SCALE: 1/2"=1'-0"  
**03 EXISTING WALL SECTION** SCALE: 1/2"=1'-0"  
**02 EXISTING WALL SECTION** SCALE: 1/2"=1'-0"  
**01 EXISTING WALL SECTION** SCALE: 1/2"=1'-0"  
**07 SECTION DETAIL** SCALE: 1-1/2"=1'-0"  
**06 EXISTING SECTION DETAIL** SCALE: 1-1/2"=1'-0"



NOTE:  
HAVE THE CONTRACTOR VERIFY THAT THERE IS A PROPERLY SIZED MASONRY STEEL ANGLE BETWEEN THE GLASS BLOCK AND THE BRICK ABOVE (PROBABLY NEEDS TO BE 17X43/8 IN SIZE FOR THIS SPAN, OR A SMALLER ANGLE SUPPORTED BY STRUCTURAL MEMBERS BEHIND THE ANGLE), AND THAT THE GLASS BLOCK IS NOT LOAD BEARING. IF THE GLASS BLOCK IS LOAD BEARING, HAVE THE GC CONTACT THE STRUCTURAL ENGINEER FOR ADDITIONAL GUIDANCE.

### P6 ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
600	CORRIDOR	LVP	VB	P	ACT	

<b>FLOORING:</b>	<b>WALLS:</b>
CPT CARPET TILE	P PAINT AND TEXTURE ON GYP. BD.
LVP LUXURY VINYL PLANK	CT PORCELAIN TILE
ETR EXISTING TO REMAIN	EPX EPOXY PAINT COATING
PT PORCELAIN TILE	
SC SEALED CONCRETE	

<b>BASE:</b>	<b>CEILING:</b>
VB VINYL BASE	P PAINT AND TEXTURE ON GYP. BD.
	ACT LAY-IN ACOUSTICAL TILE

**GENERAL NOTES:**  
 1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.  
 2. BASE IN BATHROOMS SHALL BE 4" TALL.

- #### GENERAL FLOOR PLAN NOTES
- REFER TO MEP DRAWINGS FOR MORE INFORMATION.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE OWNER AND ARCHITECT OF ANY CONFLICT PRIOR TO THE COMMENCEMENT OF WORK.
  - PROVIDE WOOD BLOCKING FOR ALL ITEMS OR EQUIPMENT FASTENING INTO DRYWALL PARTITIONS, TYPICAL. FOR TV LOCATIONS, PROVIDE 12" HIGH X 16" WIDE BLOCKING W/ CENTER AT 60" A.F.F. FOR BEDSIDE TV'S PROVIDE BLOCKING AS RECOMMENDED BY MANUFACTURER.
  - ALL PUBLIC USE DOORS SHALL HAVE HC ACCESSIBLE CLEAR FLOOR SPACE. NOTIFY ARCHITECT OF ANY CONFLICT TO COMPLIANCE.
  - REFER TO SHEET G2.1 & G2.2 FOR ACCESSIBILITY REQUIREMENT INCLUDING CLEAR FLOOR SPACE, MOUNTING HEIGHTS, CABINET CLEARANCES, ETC... THAT MUST BE MAINTAINED.
  - SEAL ALL PENETRATIONS IN RATED ASSEMBLIES TO MAINTAIN THE REQUIRED RATING.
  - WHERE WALLS AND PARTITIONS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATED ASSEMBLY, STEEL ELECTRICAL BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY THE FOLLOWING:
    - BY HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES.
    - BY SOLID FIRE BLOCKING IN ACCORDANCE WITH SECTION 717.2.1 OF 2018 INTERNATIONAL BUILDING CODE, WHICH STATES THAT FIRE BLOCKING MATERIALS SHALL CONSIST OF 2-INCH NOMINAL LUMBER.
    - BY PROTECTING BOTH OUTLET BOXES WITH LISTED PUTTY PADS.
  - WHERE OCCUPIED SPACES ARE OPEN TO DECK, EXPOSED STRUCTURE, PIPE, DUCTWORK, AND DRYWALL SHALL BE PREPARED FOR PAINT.
  - FLOORING TRANSITIONS BETWEEN ROOMS SHALL OCCUR BENEATH DOORS IN THE CLOSED POSITIONS, TYP.
- #### FLOOR PLAN NOTES BY NUMBER (O)
- NEW METAL FRAMED WALL. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
  - NEW ALUMINUM FRAME AND GLASS PARTITION WALLS.
  - NEW EXTERIOR INFILL WALL TO MATCH EXISTING..
  - RELOCATE EXISTING STOREFRONT DOOR & WINDOW UNITS.
  - EXTEND NEW & EXISTING WALLS FULL HEIGHT TO DECK.
  - REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW WALL CONFIGURATION.

- #### GENERAL DEMOLITION NOTES
- REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
  - ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
  - REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS, PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
  - CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
  - COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
  - PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
  - PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
  - DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS, REFURBISH EXISTING DOORS AND FRAMES REUSED.
  - LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
  - MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
  - FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS. CONTRACTOR TO FIELD VERIFY.
  - REMOVE ALL FLOORING THROUGHOUT, U.O.N. FLOORING INCLUDES CARPET, WOOD FLOORING, VOT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
  - PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
  - ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.

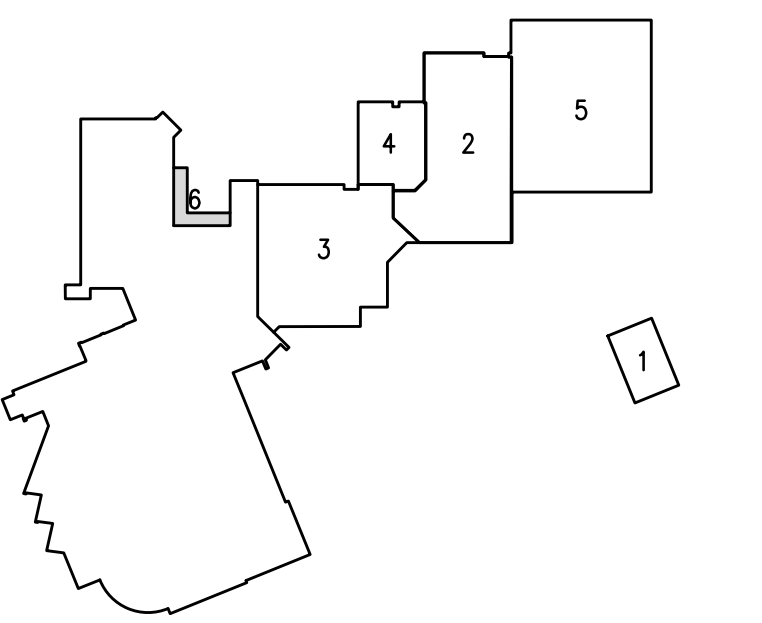
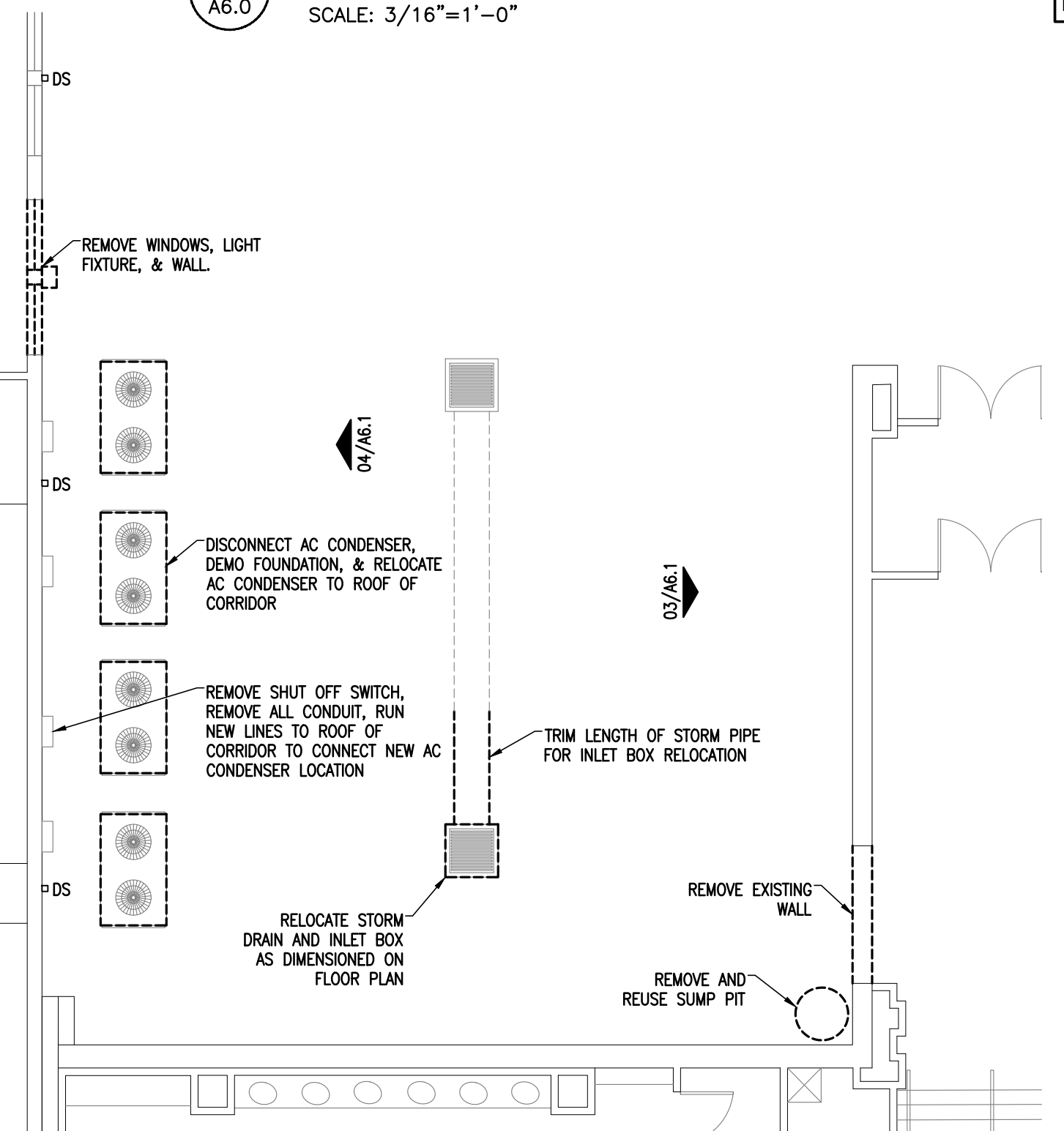
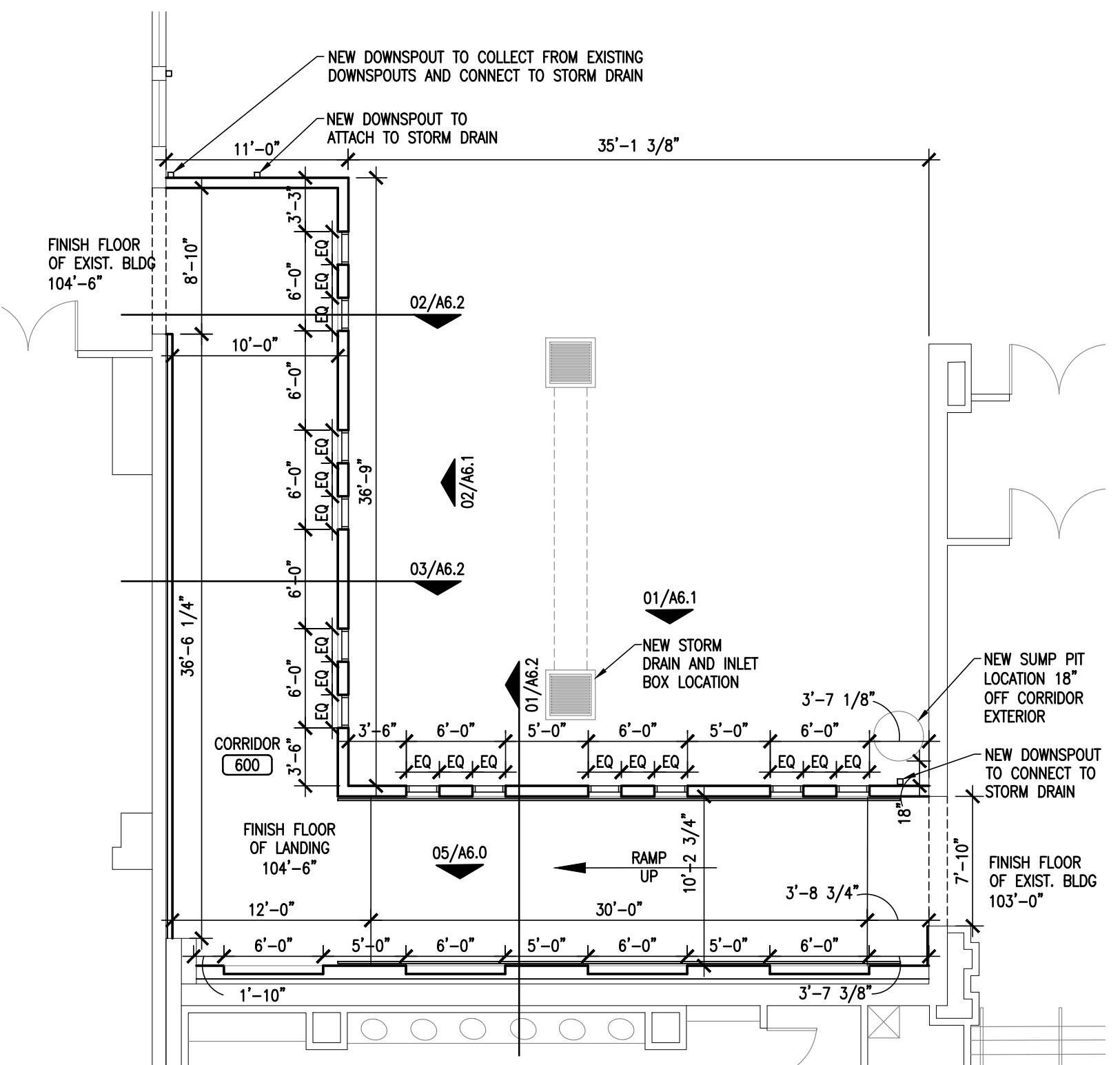
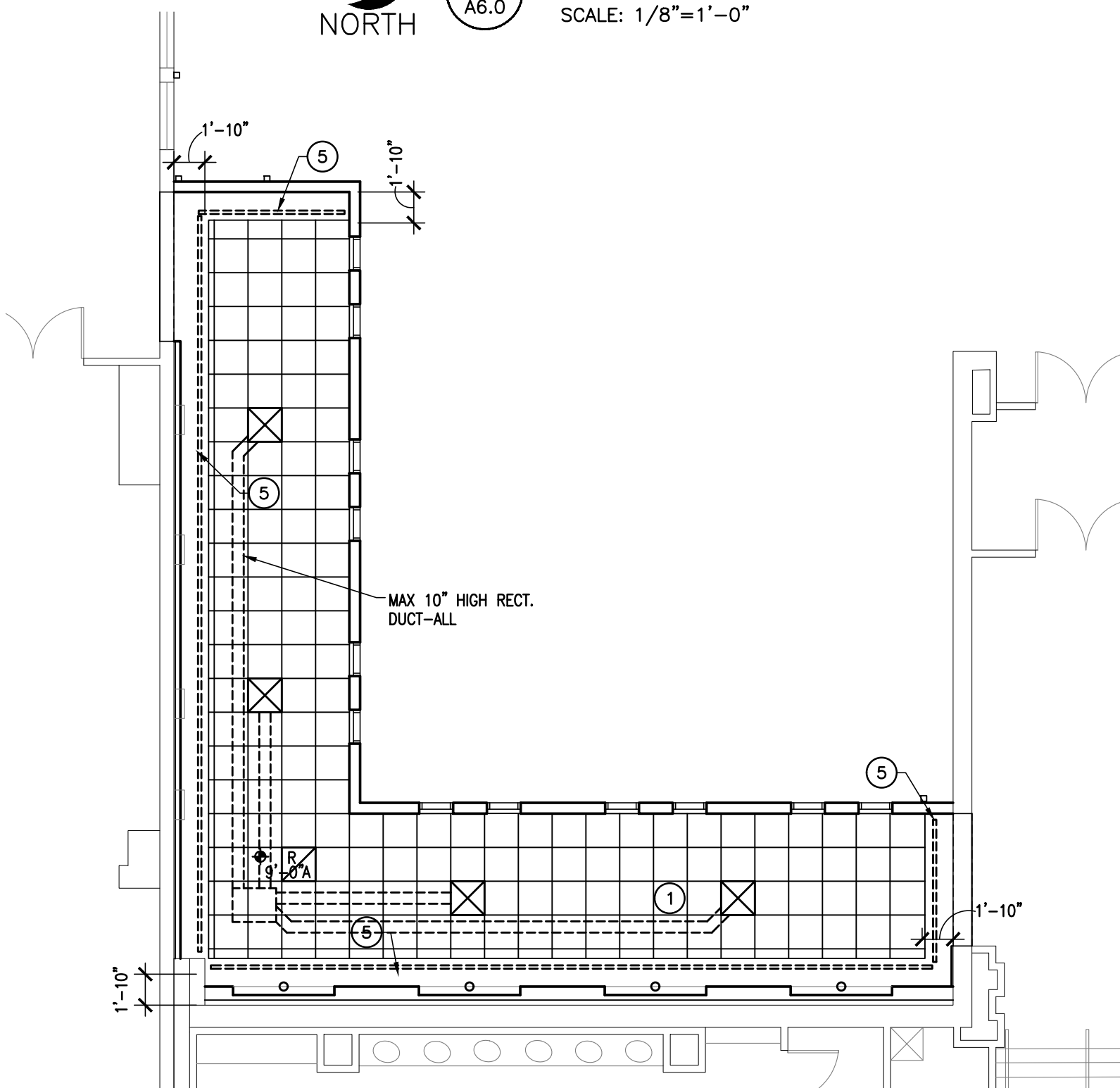
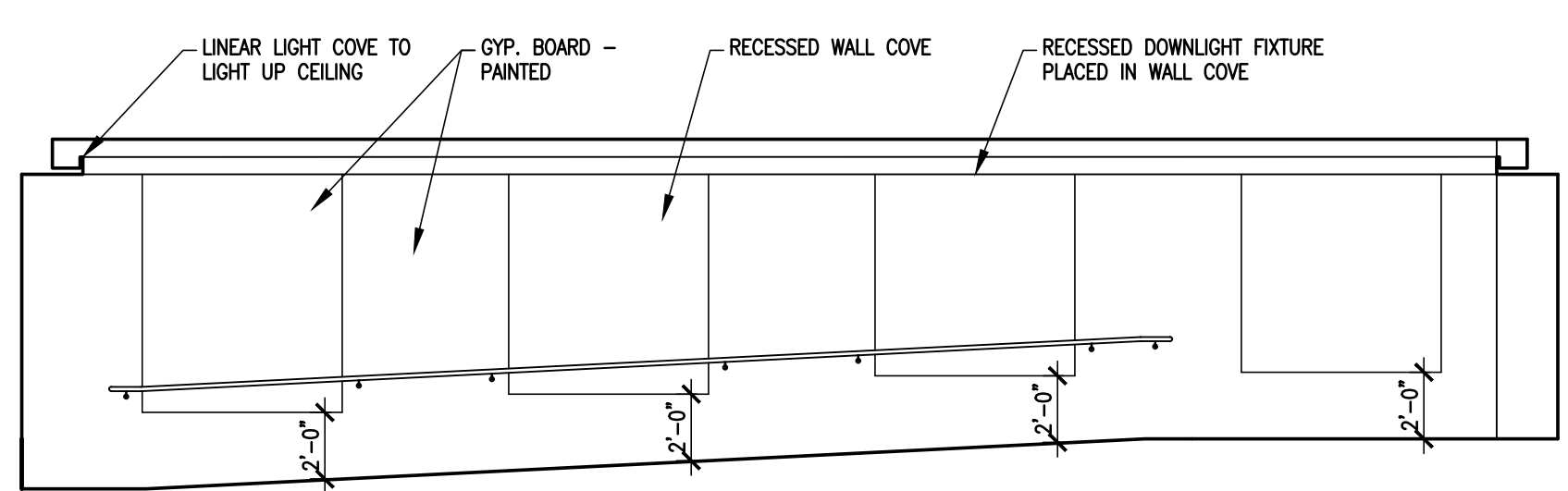
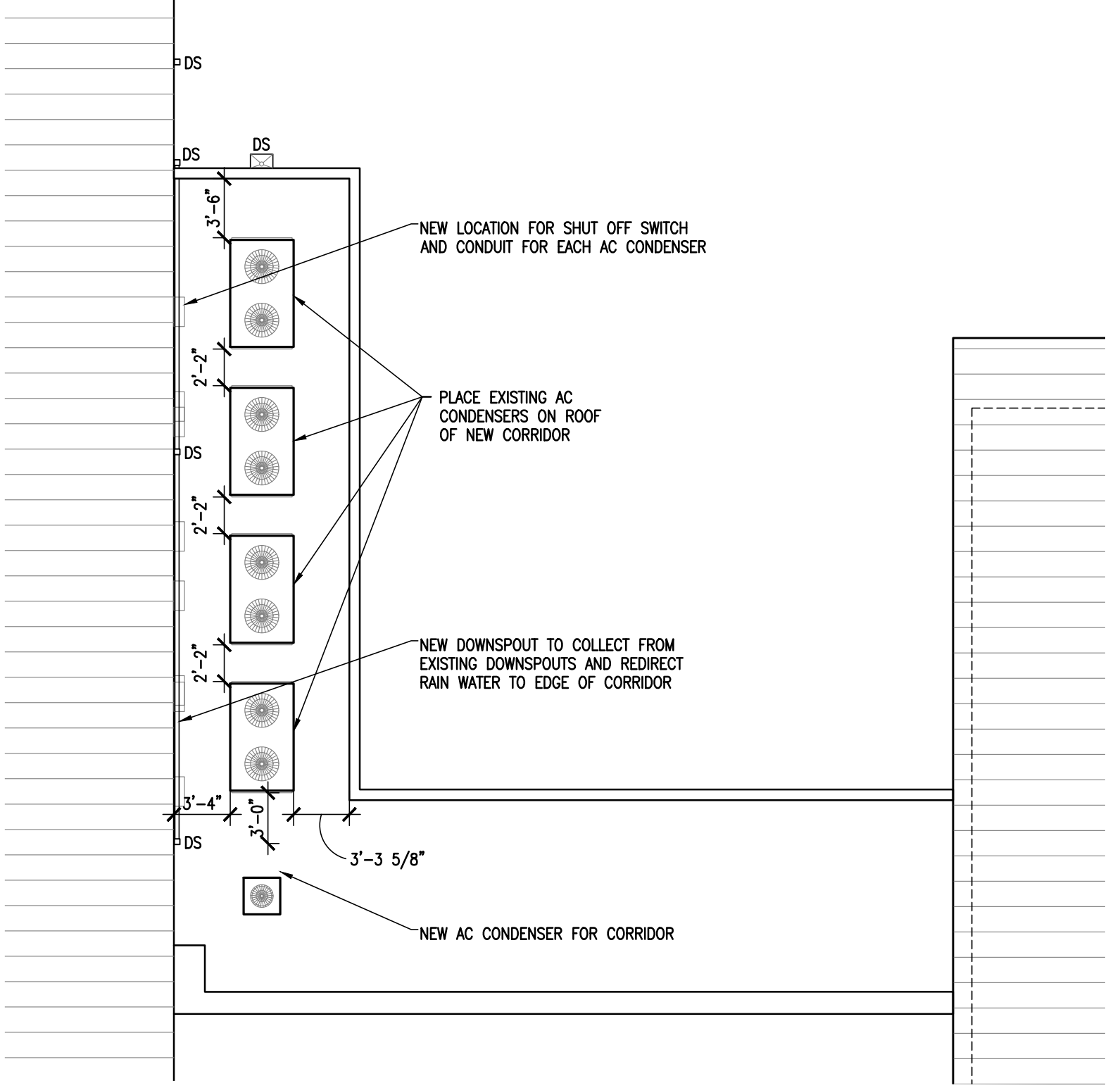
- #### DEMOLITION NOTES BY NUMBERS (O)
- REMOVE EXISTING WALL (DASHED).
  - REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
  - REMOVE EXISTING CABINETRY.
  - REMOVE EXISTING WINDOW.
  - REMOVE EXISTING LIGHT FIXTURE(S).
  - REMOVE EXISTING PLUMBING FIXTURE.
  - REMOVE EXISTING LAY-IN CEILING.
  - EXISTING CEILING AND LIGHTING TO REMAIN.
  - REMOVE EXISTING TOILET PARTITIONS.
  - REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
  - REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
  - STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
  - REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
  - REMOVE BAPTISTERY.
  - REMOVE ROLLING COUNTER SHUTTER.
  - REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
  - DISMANTLE AND REMOVE PORTABLE DESK.
  - REMOVE EXISTING STEEL DOOR(S) AND FRAME.
  - EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
  - CONDENSING UNIT TO BE REMOVED AND RELOCATED.

- #### GENERAL RCP NOTES
- ALL 1 HOUR PARTITION WALLS SHALL TERMINATE TO THE BOTTOM OF THE 1-HOUR ROOF/CEILING ASSEMBLY.
  - ALL PENETRATIONS THROUGH RATED WALLS SHALL BE FIRE-STOPPED AS REQUIRED TO MAINTAIN WALL RATING.
  - COORDINATE LIGHT FIXTURE LOCATIONS WITH DOORS, MECHANICAL EQUIPMENT AND FIRE SPRINKLERS. NOTIFY THE ARCHITECT IF THERE IS A DISCREPANCY.
  - RELOCATE EXISTING HVAC AIR DEVICES AS REQUIRED. EXTEND OR OTHERWISE MODIFY DUCTWORK TO MAINTAIN PROPER PERFORMANCE OF THE SYSTEM.
  - RELOCATE FIRE SUPPRESSION SPRINKLER HEADS AS REQUIRED. EXTEND OR MODIFY PIPING AS REQUIRED TO RESULT IN A CODE COMPLIANT SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE ENGINEERED DESIGN AND SUBMIT TO THE CITY FOR APPROVAL.

#### RCP LEGEND

	2x4 LAY-IN TROFFER LED LIGHT FIXTURE
	2x2 LAY-IN TROFFER LED LIGHT FIXTURE
	SURFACE MOUNT LED LIGHT FIXTURE
	WALL PACK
	SCONCE WALL MOUNT FIXTURE
	PENDANT WALL MOUNT FIXTURE
	LED COVE STRIP LIGHT
	WALL MOUNTED LIGHT FIXTURE
	PENDANT LIGHT/ CHANDELIER
	RECESSED DOWNLIGHT FIXTURE
	EXIT LIGHT
	SUSPENDED CEILING
	AREA NOT AFFECTED DURING THIS PHASE

- #### RCP NOTES BY NUMBER (#)
- 2x2 A.C.T. SUSPENDED CEILING W/ 6" R-19 FIBERGLASS INSULATION OVER.
  - NEW 1-HR FIRE RATED GYPSUM BOARD CEILING, GA FILE NO. RC-2601. RE: RCP AND DETAILS.
  - EXISTING CEILING AND LIGHTING TO REMAIN.
  - NEW STANDING SEAM METAL ROOF ON EXISTING METAL AWNING STRUCTURE.
  - LIGHT COVE WITH LED COVE STRIP LIGHT.
  - CEILING OPEN TO DECK.
  - PENDANT LIGHTING SUSPENDED FROM ROOF STRUCTURE.
  - DECORATIVE RECESSED WOOD RAFTERS/BEAMS.
  - SUSPENDED LINEAR LIGHT FIXTURE.
  - EXISTING LIGHTING FIXTURE TO REMAIN.







DATE: 08/14/24

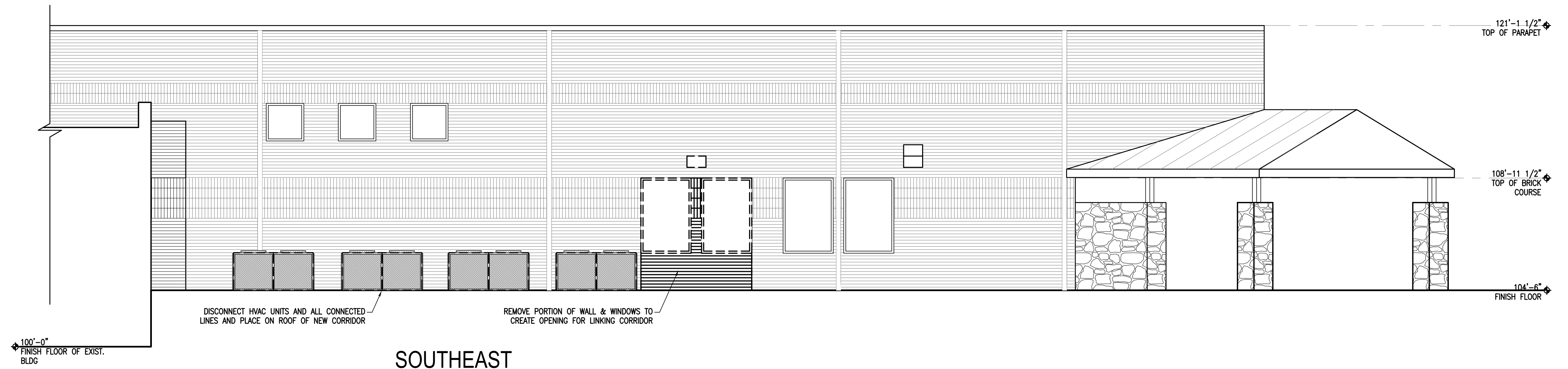
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REVISION:

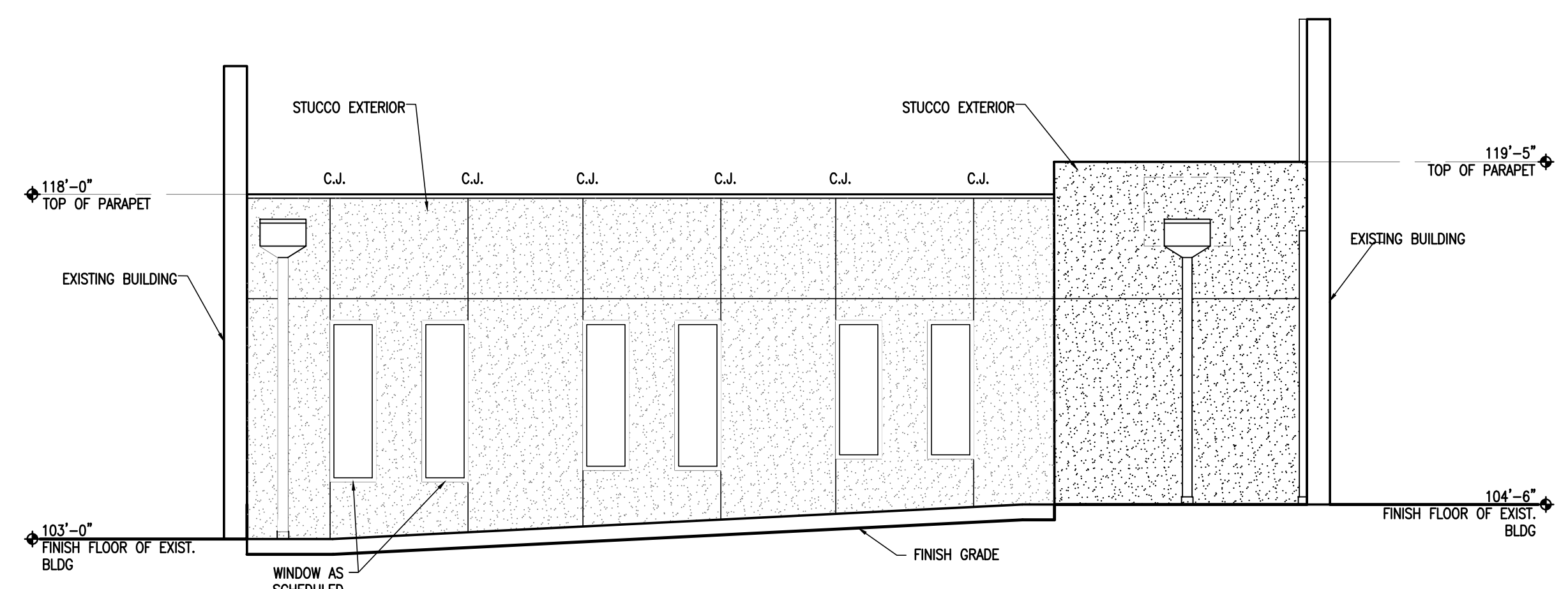
SHEET TITLE:

PHASE 6  
EXT. ELEVATIONS

**A6.1**



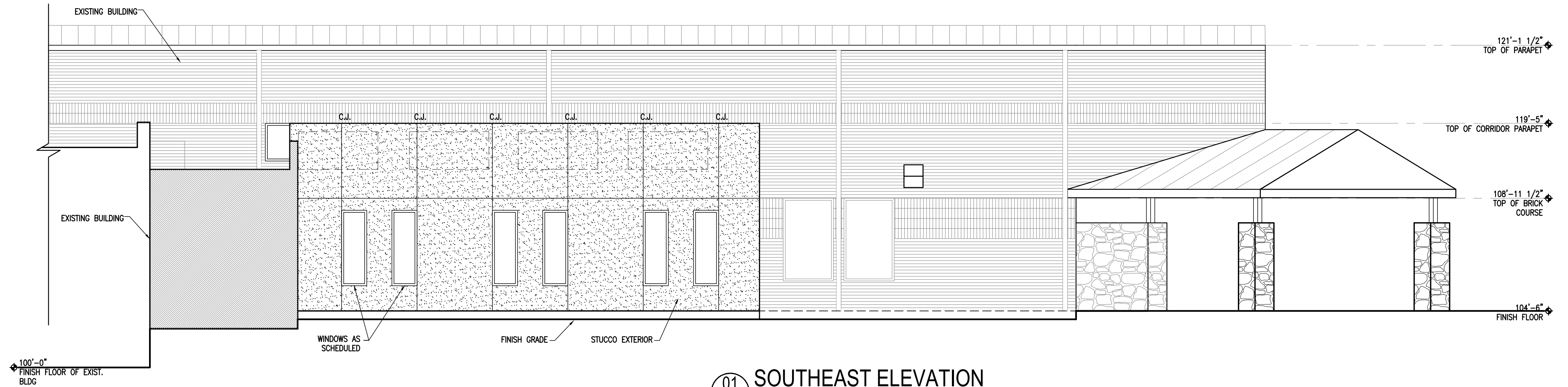
**04**  
A6.1 **SOUTHEAST DEMO ELEVATION**  
SCALE: 3/16"=1'-0"



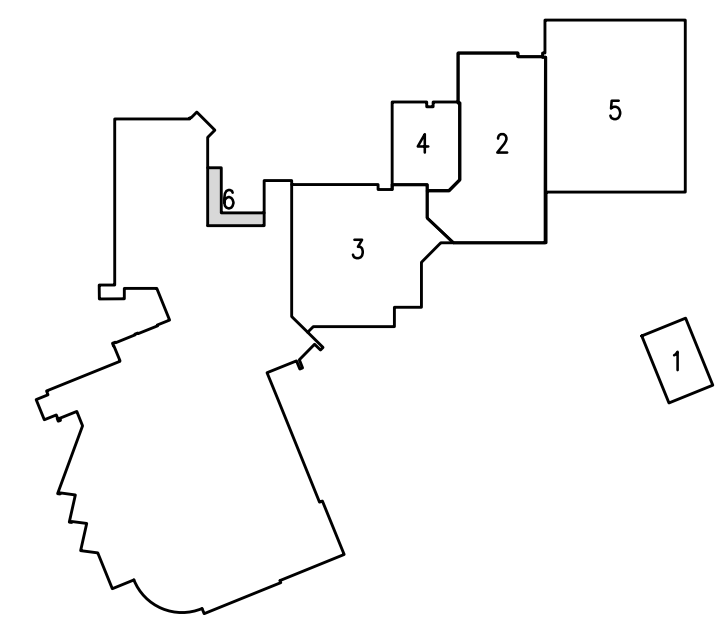
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A6.1 **NORTHEAST ELEVATION**  
SCALE: 3/16"=1'-0"



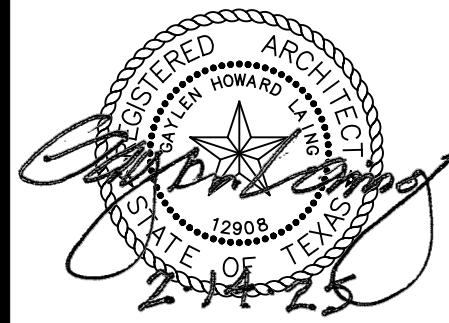
**03**  
A6.1 **NORTHWEST DEMO ELEVATION**  
SCALE: 3/16"=1'-0"



**01**  
A6.1 **SOUTHEAST ELEVATION**  
SCALE: 3/16"=1'-0"



**KEY PLAN**  
NORTH



DATE: 08/14/24

ISSUE:

REVISION:

SHEET TITLE:

PHASE 6  
BUILDING  
SECTIONS

**A6.2**

**PROSTUD FULL COMPOSITE LIMITING HEIGHTS** \*\*

\*\* TAKEN FROM THE 2025 CLARK DIETRICH PRO STUD PRODUCT CATALOG FOR ADDITIONAL INFORMATION AND REQUIREMENTS ON NON-LOAD BEARING WALL CONSTRUCTION.

5/8" TYPE X GYPSUM

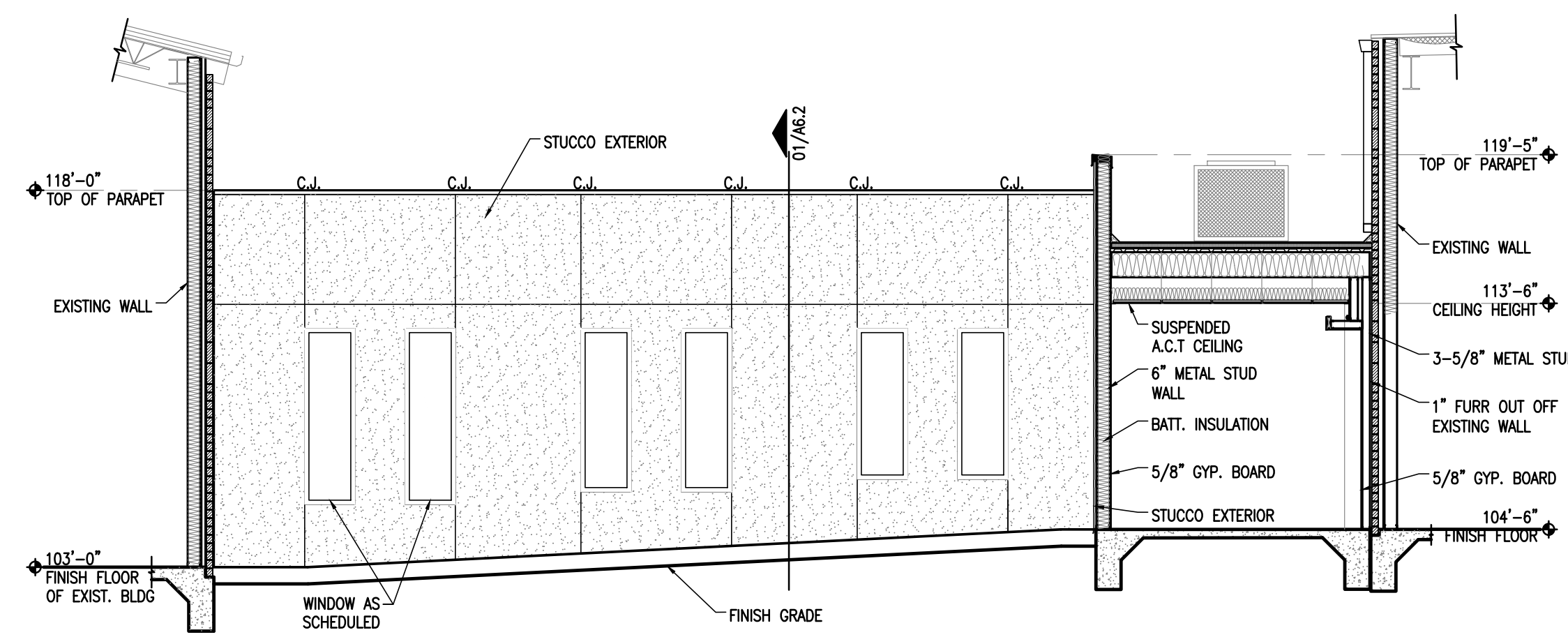
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			24	16'-2"	
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**PROSTUD NON-COMPOSITE LIMITING HEIGHTS** \*\*

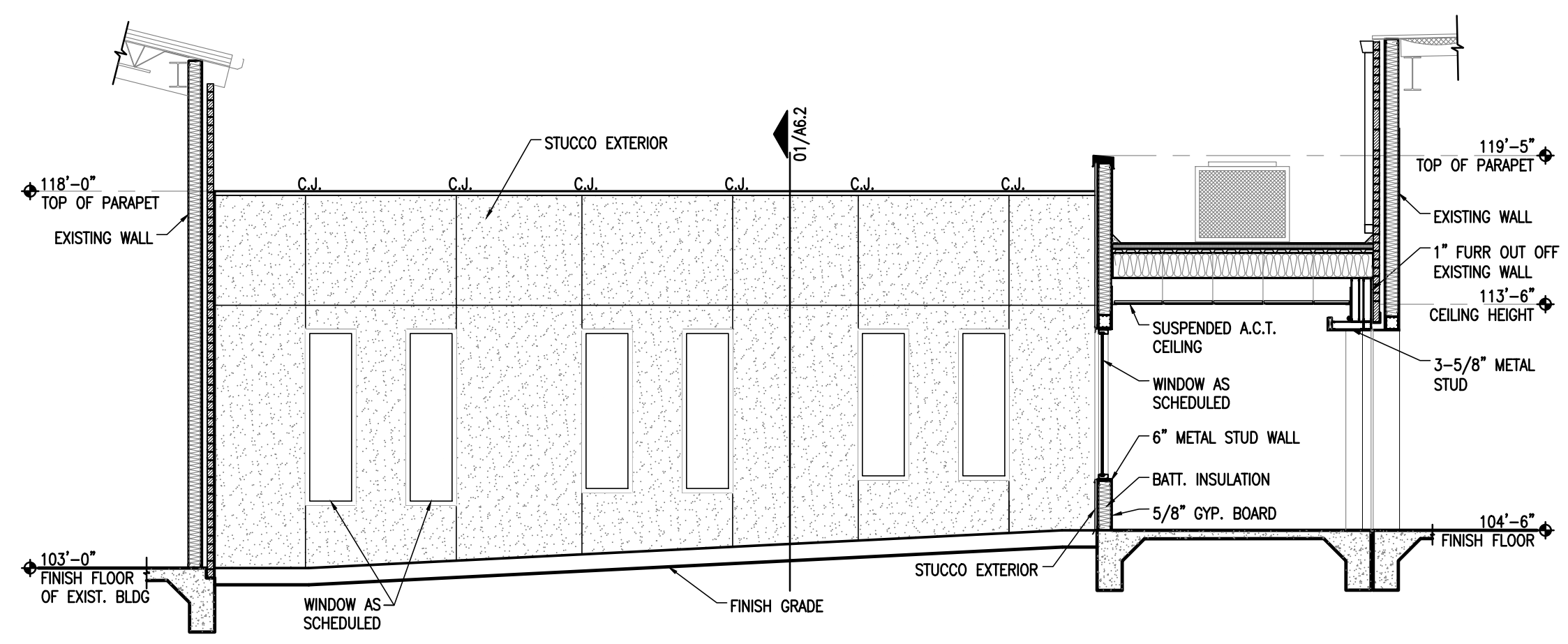
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5/8" TYPE X GYPSUM

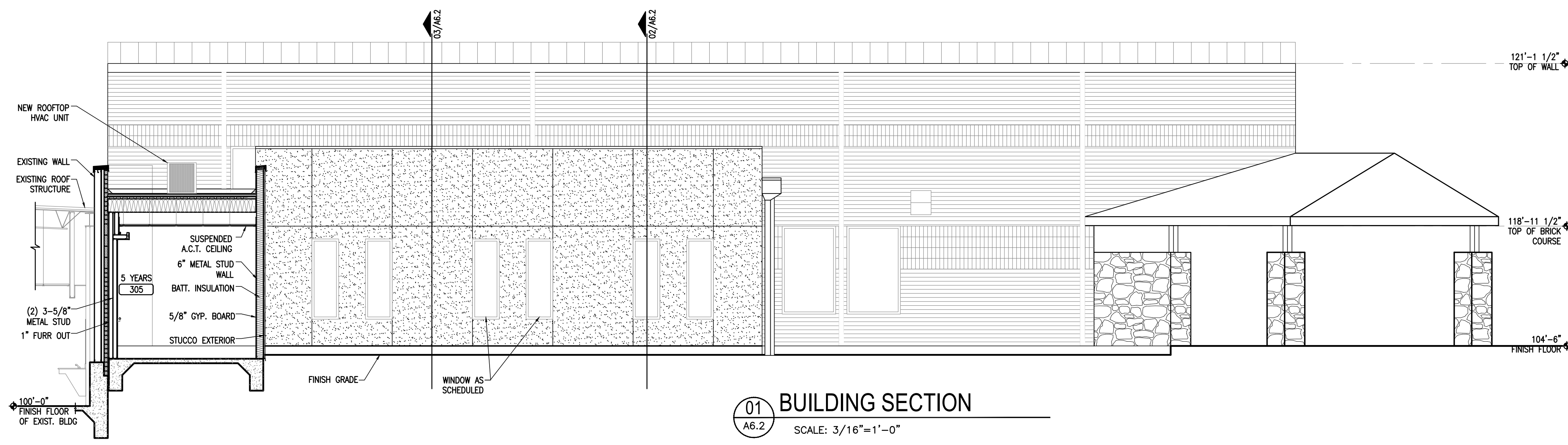
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			16	15'-9"	
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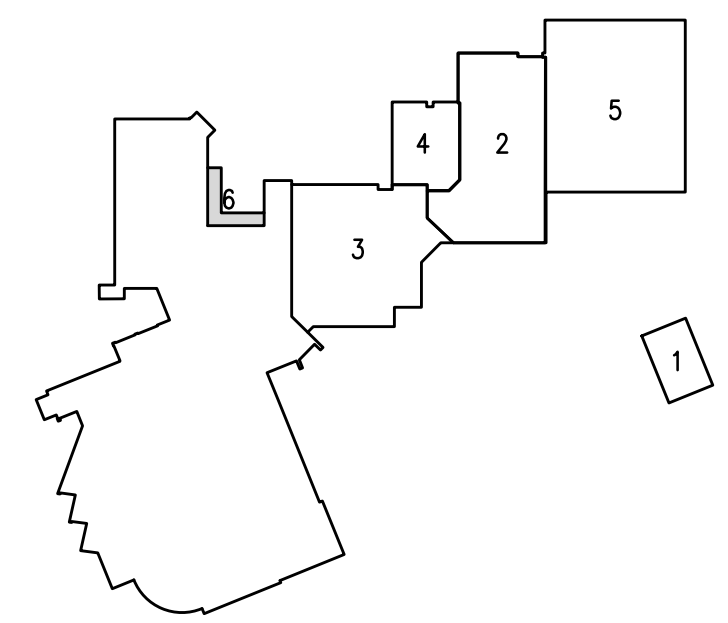
**03 BUILDING SECTION**  
SCALE: 3/16"=1'-0"



**02 BUILDING SECTION**  
SCALE: 3/16"=1'-0"



**01 BUILDING SECTION**  
SCALE: 3/16"=1'-0"



**KEY PLAN**  
NORTH