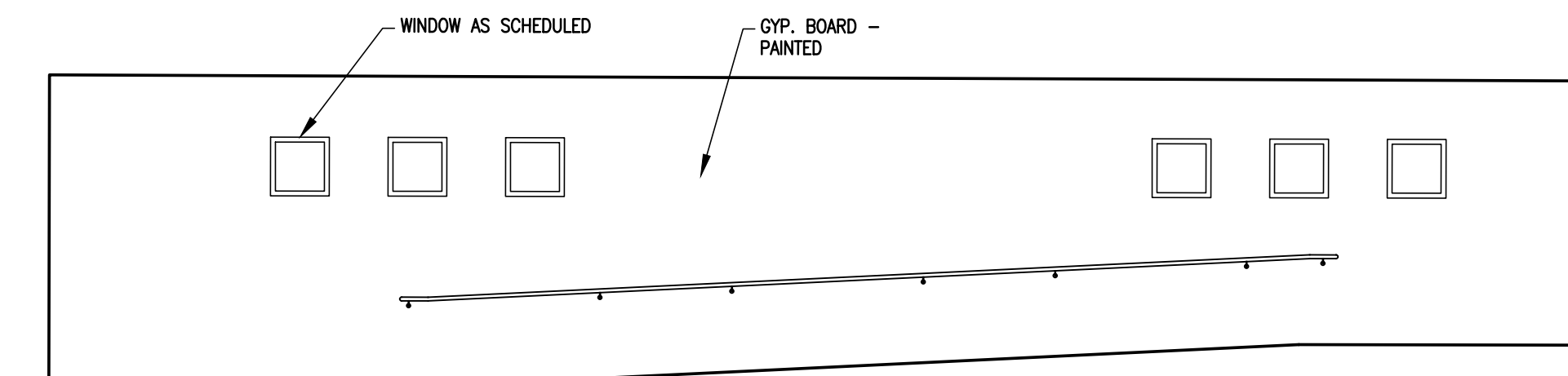


PHASE 6 ROOF PLAN
 NORTH
 06 A6.0
 SCALE: 1/8"=1'-0"



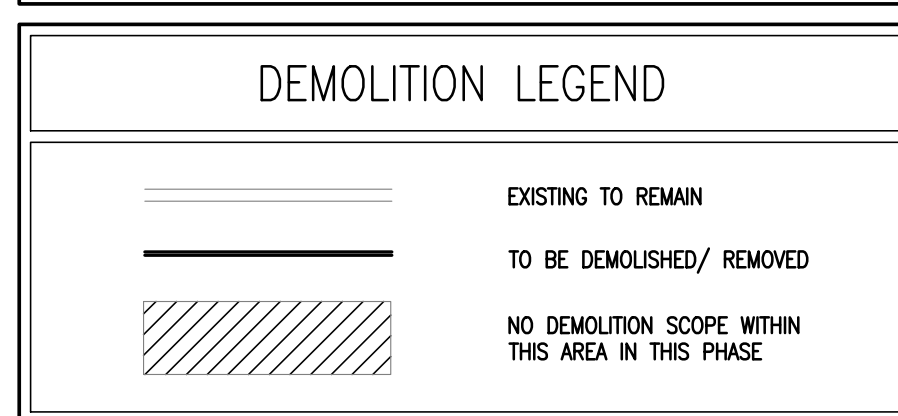
PHASE 6 REFLECTED CEILING PLAN
 NORTH
 03 A6.0
 SCALE: 1/8"=1'-0"

- GENERAL FLOOR PLAN NOTES**
- REFER TO MEP DRAWINGS FOR MORE INFORMATION.
 - ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE OWNER AND ARCHITECT OF ANY CONFLICT PRIOR TO THE COMMENCEMENT OF WORK.
 - PROVIDE WOOD BLOCKING FOR ALL ITEMS OR EQUIPMENT FASTENING INTO DRYWALL PARTITIONS, TYPICAL. FOR TV LOCATIONS, PROVIDE 12" HIGH X 16" WIDE BLOCKING W/ CENTER AT 60" A.F.F. FOR BEDSIDE TV'S PROVIDE BLOCKING AS RECOMMENDED BY MANUFACTURER.
 - ALL PUBLIC USE DOORS SHALL HAVE HC ACCESSIBLE CLEAR FLOOR SPACE. NOTIFY ARCHITECT OF ANY CONFLICT TO COMPLIANCE.
 - REFER TO SHEET G2.1 & G2.2 FOR ACCESSIBILITY REQUIREMENT INCLUDING CLEAR FLOOR SPACE, MOUNTING HEIGHTS, CABINET CLEARANCES, ETC... THAT MUST BE MAINTAINED.
 - SEAL ALL PENETRATIONS IN RATED ASSEMBLIES TO MAINTAIN THE REQUIRED RATING.
 - WHERE WALLS AND PARTITIONS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATED ASSEMBLY, STEEL ELECTRICAL BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY THE FOLLOWING:
 - BY HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES.
 - BY SOLID FIRE BLOCKING IN ACCORDANCE WITH SECTION 717.2.1 OF 2018 INTERNATIONAL BUILDING CODE, WHICH STATES THAT FIRE BLOCKING MATERIALS SHALL CONSIST OF 2-INCH NOMINAL LUMBER.
 - BY PROTECTING BOTH OUTLET BOXES WITH LISTED PUTTY PADS.
 - WHERE OCCUPIED SPACES ARE OPEN TO DECK, EXPOSED STRUCTURE, PIPE, DUCTWORK, AND DRYWALL SHALL BE PREPARED FOR PAINT.
 - FLOORING TRANSITIONS BETWEEN ROOMS SHALL OCCUR BENEATH DOORS IN THE CLOSED POSITIONS, TYP.

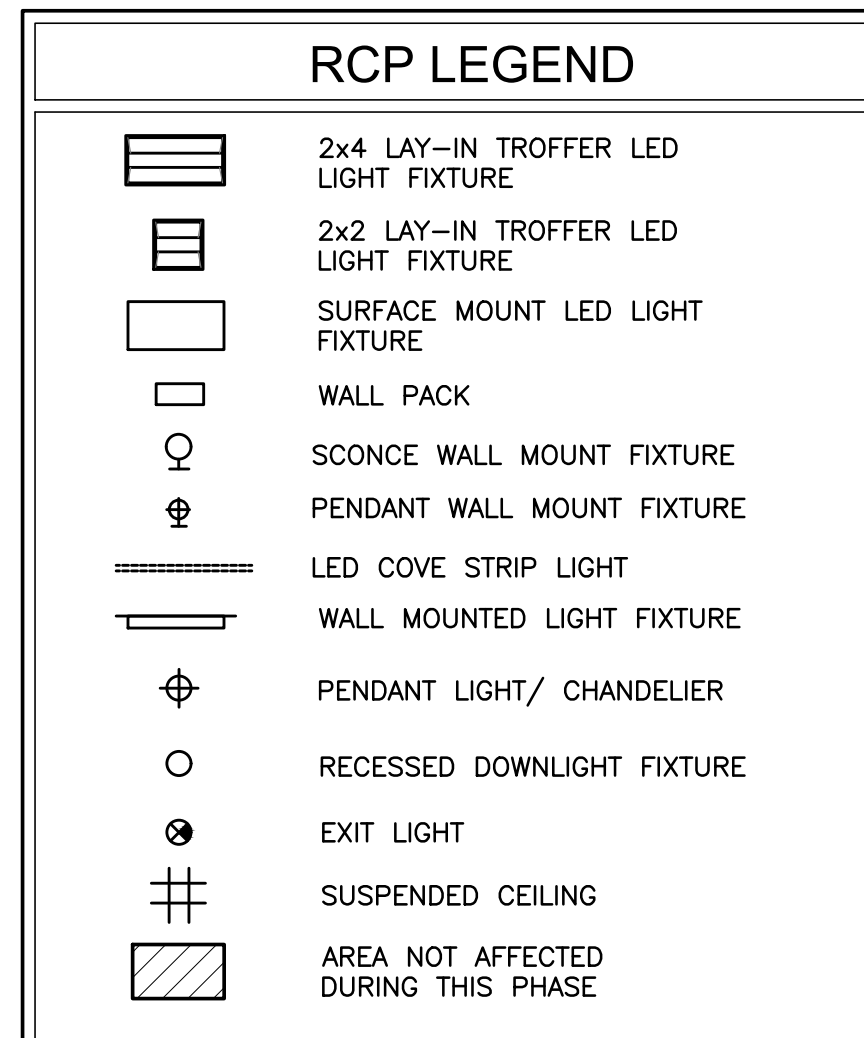
- FLOOR PLAN NOTES BY NUMBER**
- NEW METAL FRAMED WALL. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - NEW ALUMINUM FRAME AND GLASS PARTITION WALLS
 - NEW EXTERIOR INFILL WALL TO MATCH EXISTING..
 - RELOCATE EXISTING STOREFRONT DOOR & WINDOW UNITS.
 - EXTEND NEW & EXISTING WALLS FULL HEIGHT TO DECK.
 - REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW WALL CONFIGURATION.

- GENERAL DEMOLITION NOTES**
- REMOVE BUILDING ELEMENTS AS INDICATED AND TO THE EXTENT NECESSARY TO ACCOMPLISH THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING FIXTURES AND DEVICES REMOVED DURING DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WIRES, CONDUIT, AND LINES IN THEIR ENTIRETY BACK TO THE SOURCE OR TO UNDER A POINT OUT OF CONFLICT WITH THE NEW WORK AND OUT OF SIGHT.
 - ALL MATERIALS, FIXTURES, ETC. INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY OFF SITE BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
 - REMOVE BUILDING ELEMENTS IN SUCH A MANNER TO FACILITATE THE NEW WORK SHOWN IN THE CONSTRUCTION DOCUMENTS. PREPARE ALL SURFACES TO RECEIVE NEW FINISH AS SCHEDULED.
 - CONTRACTOR TO DETERMINE LOAD BEARING WALLS PRIOR TO DEMOLITION. RESHORE AS NECESSARY DURING ALL PHASES OF WORK.
 - COORDINATE WITH FACILITIES MANAGEMENT FOR REMOVAL, STORAGE, AND RELOCATION OF FACILITY FURNITURE, FIXTURES, AND EQUIPMENT DURING CONSTRUCTION.
 - PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DEMOLITION PROCESS INCLUDING DUST AND DAMAGE CAUSED BY FOOT TRAFFIC.
 - PATCH AND REPAIR ALL EXISTING WALLS AND CEILINGS TO REMAIN WITH TEXTURE TO MATCH EXISTING. PREPARE SURFACES FOR NEW PAINT.
 - DOORS, FRAMES AND HARDWARE REMOVED DURING DEMOLITION SHALL BE SALVAGED FOR REUSE. COORDINATE WITH NEW DOOR SCHEDULE REQUIREMENTS, REFURBISH EXISTING DOORS AND FRAMES REUSED.
 - LIGHT FIXTURES AND CEILING MOUNTED DEVICES AND EQUIPMENT SHALL BE REMOVED OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY. REF. REFLECTED CEILING PLAN AND MEP FOR FULL SCOPE OF NEW CONSTRUCTION.
 - MECHANICAL AIR DIFFUSER/RETURN TO BE RELOCATED OR REMOVED TO COORDINATE WITH NEW CONSTRUCTION LAYOUT. CONTRACTOR TO FIELD VERIFY.
 - FIRE SPRINKLERS AND ALARMS SHALL BE MODIFIED AND/OR RELOCATED AS NECESSARY TO COORDINATE WITH NEW CONSTRUCTION LAYOUTS. CONTRACTOR TO FIELD VERIFY.
 - REMOVE ALL FLOORING THROUGHOUT, U.O.N. FLOORING INCLUDES CARPET, WOOD FLOORING, VOT AND SHEET VINYL. WALL BASE INCLUDES WOOD BASE, VINYL BASE AND CARPET BASE.
 - PER STATE LAW, AN ASBESTOS SURVEY MUST BE PERFORMED AND ANY MATERIAL FOUND TO BE AFFECTED BY CONSTRUCTION THAT ASBESTOS MUST BE PROPERLY ABATED.
 - ITEMS TO BE REMOVED OR DEMOLISHED SHOWN DASHED AND BOLD.

- DEMOLITION NOTES BY NUMBERS**
- REMOVE EXISTING WALL (DASHED).
 - REMOVE AND COORDINATE THE REUSE OF DOOR FRAME AND HARDWARE IN NEW LOCATION.
 - REMOVE EXISTING CABINETRY.
 - REMOVE EXISTING WINDOW.
 - REMOVE EXISTING LIGHT FIXTURE(S).
 - REMOVE EXISTING PLUMBING FIXTURE.
 - REMOVE EXISTING LAY-IN CEILING.
 - EXISTING CEILING AND LIGHTING TO REMAIN.
 - REMOVE EXISTING TOILET PARTITIONS.
 - REMOVE EXISTING CARPET AND/OR VINYL FLOORING.
 - REMOVE AND RELOCATE EXISTING PAPER TOWEL DISPENSER.
 - REMOVE AND COORDINATE THE REUSE OF 2x2 A.C.T. CEILING.
 - STRUCTURAL COLUMN, PROTECT DURING CONSTRUCTION.
 - REMOVE WALL TO CREATE OPENING FOR NEW EXTERIOR DOOR AND FRAME.
 - REMOVE BAPTISTERY.
 - REMOVE ROLLING COUNTER SHUTTER.
 - REMOVE PORTION OF CONCRETE SLAB FOR NEW PLUMBING.
 - DISMANTLE AND REMOVE PORTABLE DESK.
 - REMOVE EXISTING STEEL DOOR(S) AND FRAME.
 - EXISTING CONCRETE BASE TO BE REMOVED AND REPLACED
 - CONDENSING UNIT TO BE REMOVED AND RELOCATED.



- GENERAL RCP NOTES**
- ALL 1 HOUR PARTITION WALLS SHALL TERMINATE TO THE BOTTOM OF THE 1-HOUR ROOF/CEILING ASSEMBLY.
 - ALL PENETRATIONS THROUGH RATED WALLS SHALL BE FIRE-STOPPED AS REQUIRED TO MAINTAIN WALL RATING.
 - COORDINATE LIGHT FIXTURE LOCATIONS WITH DOORS, MECHANICAL EQUIPMENT AND FIRE SPRINKLERS. NOTIFY THE ARCHITECT IF THERE IS A DISCREPANCY.
 - RELOCATE EXISTING HVAC AIR DEVICES AS REQUIRED. EXTEND OR OTHERWISE MODIFY DUCTWORK TO MAINTAIN PROPER PERFORMANCE OF THE SYSTEM.
 - RELOCATE FIRE SUPPRESSION SPRINKLER HEADS AS REQUIRED. EXTEND OR MODIFY PIPING AS REQUIRED TO RESULT IN A CODE COMPLIANT SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE ENGINEERED DESIGN AND SUBMIT TO THE CITY FOR APPROVAL.



- RCP NOTES BY NUMBER (#)**
- 2x2 A.C.T. SUSPENDED CEILING W/ 6" R-19 FIBERGLASS INSULATION OVER.
 - NEW 1-HR FIRE RATED GYPSUM BOARD CEILING, GA FILE NO. RC-2601. RE: RCP AND DETAILS.
 - EXISTING CEILING AND LIGHTING TO REMAIN.
 - NEW STANDING SEAM METAL ROOF ON EXISTING METAL AWNING STRUCTURE.
 - LIGHT COVE WITH LED COVE STRIP LIGHT.
 - CEILING OPEN TO DECK.
 - PENDANT LIGHTING SUSPENDED FROM ROOF STRUCTURE.
 - DECORATIVE RECESSED WOOD RAFTERS/BEAMS.
 - SUSPENDED LINEAR LIGHT FIXTURE.
 - EXISTING LIGHTING FIXTURE TO REMAIN.

P6 ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
600	CORRIDOR	LVP	VB	P	ACT	

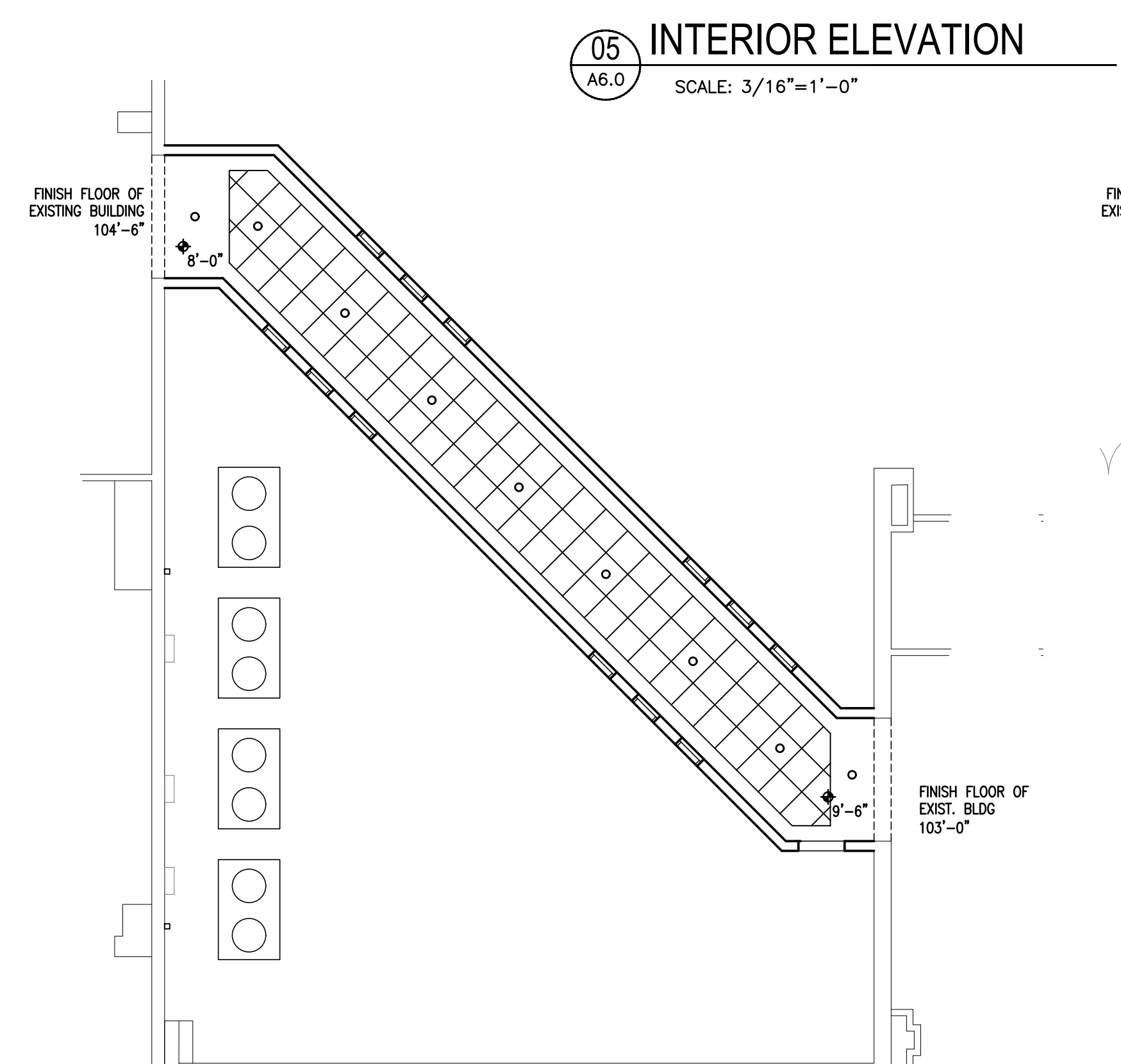
FLOORING:
 CPT CARPET TILE
 LVP LUXURY VINYL PLANK
 ETR EXISTING TO REMAIN
 PT PORCELAIN TILE
 SC SEALED CONCRETE

BASE:
 VB VINYL BASE

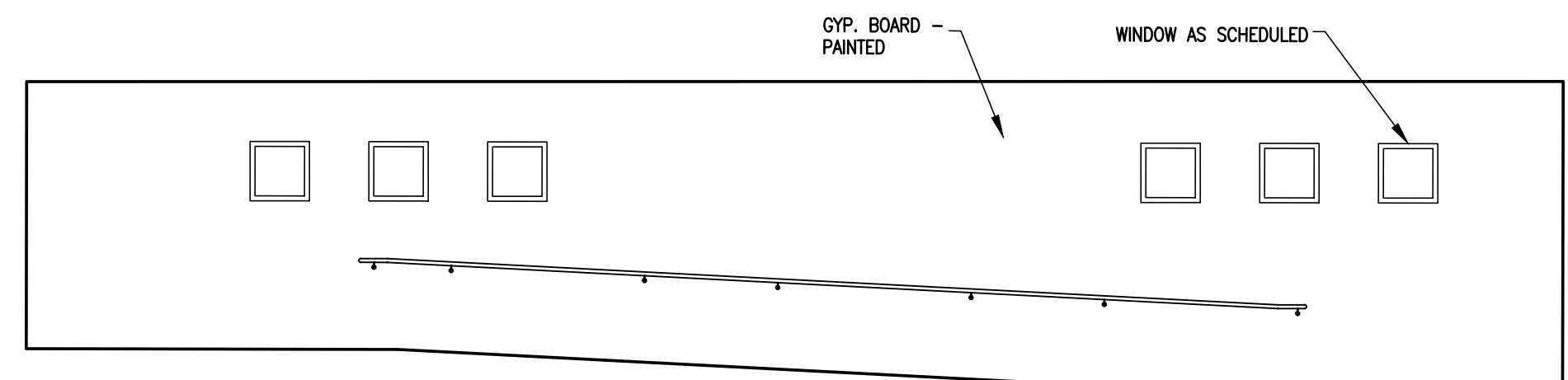
WALLS:
 P PAINT AND TEXTURE ON GYP. BD.
 CT PORCELAIN TILE
 EPX EPOXY PAINT COATING

CEILING:
 P PAINT AND TEXTURE ON GYP. BD.
 ACT LAY-IN ACOUSTICAL TILE

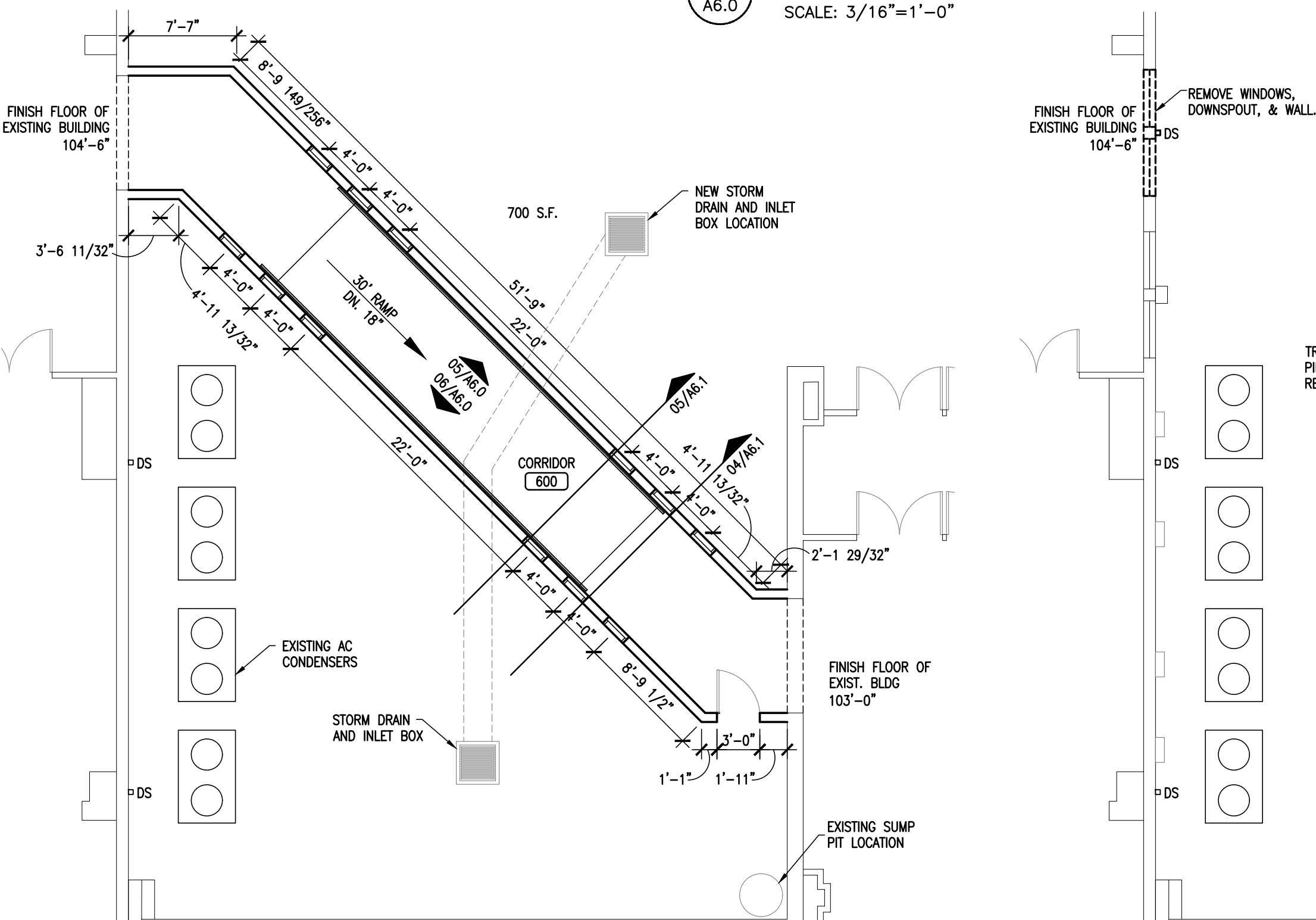
GENERAL NOTES:
 1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFO.
 2. BASE IN BATHROOMS SHALL BE 4" TALL.



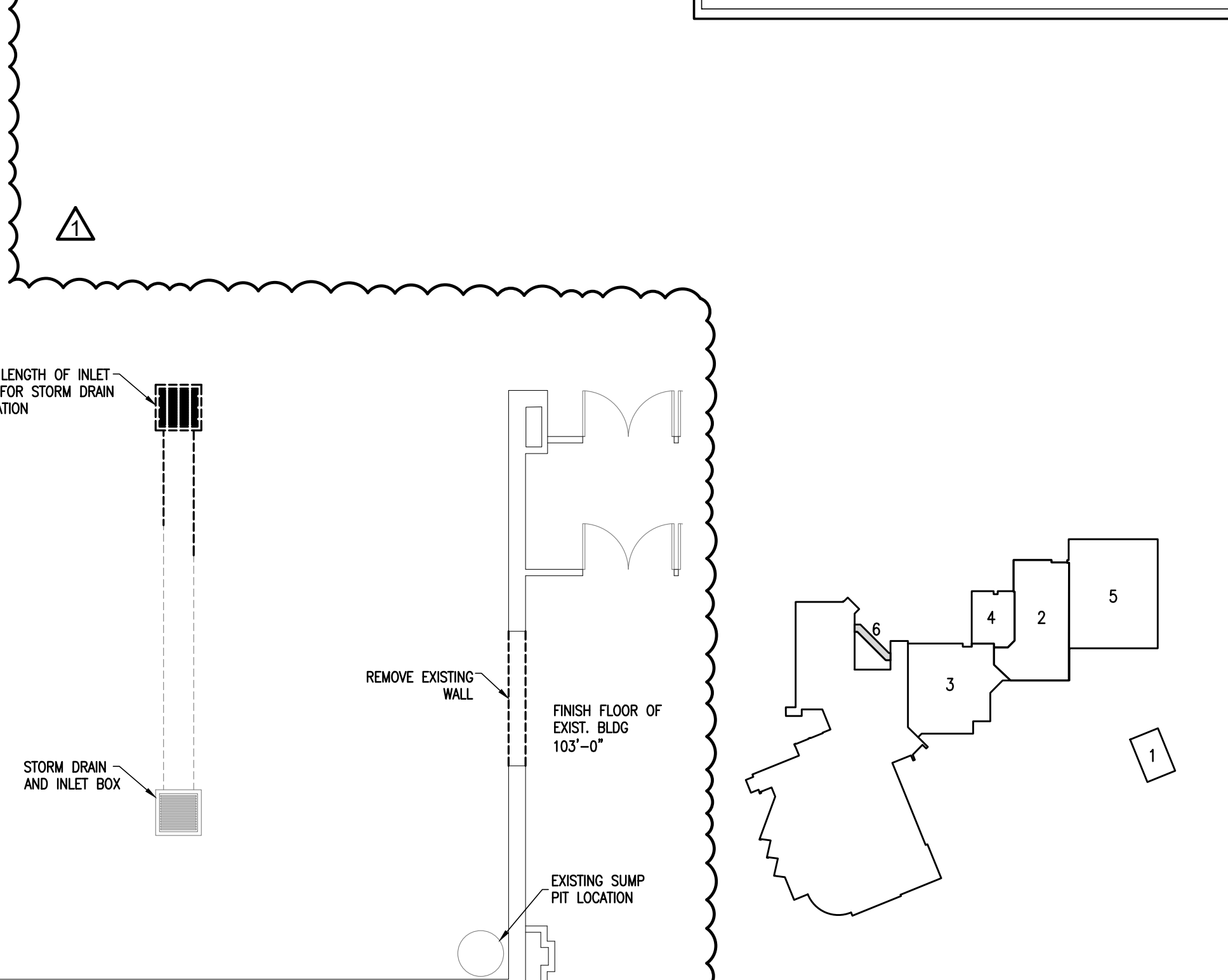
PHASE 6 INTERIOR ELEVATION
 NORTH
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 SCALE: 3/16"=1'-0"



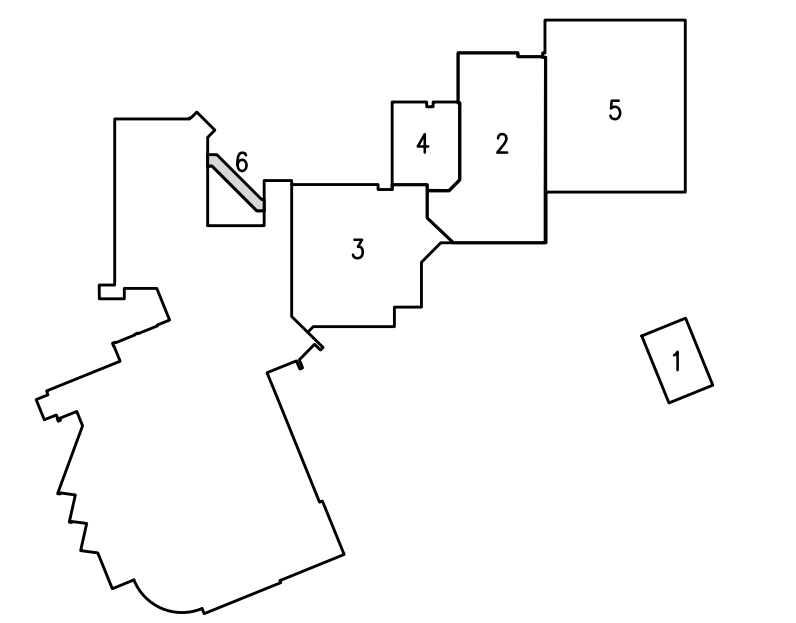
PHASE 6 INTERIOR ELEVATION
 NORTH
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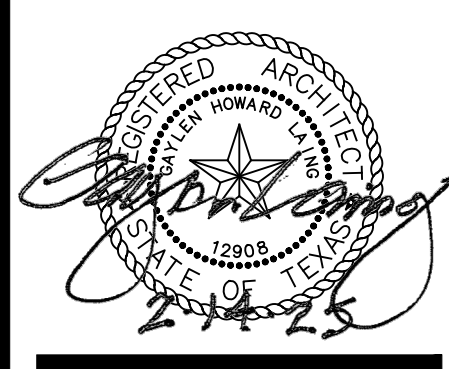
PHASE 6 FLOOR PLAN
 NORTH
 02 A6.0
 SCALE: 1/8"=1'-0"



PHASE 6 DEMO FLOOR PLAN
 NORTH
 01 A6.0
 SCALE: 1/8"=1'-0"



PHASING/KEY PLAN
 NORTH



DATE: 08/14/24
 ISSUE:
 -
 REVISION:
 Δ REVISED 03-10-25
 -
 SHEET TITLE:
 PHASE 6 FLOOR PLANS & INT. ELEVATION

A6.0